ADDENDUM #6

INVITATION TO BID
Town of East Windsor
Community Center Alterations and Additions
28 Abbe Road
East Windsor, Connecticut

1. I didn't see any alternates required in SECTION 23 Schedule of Alternates, but plans are indicating that RTU-4 as labeled on the drawings as "ALT". Please advise. **There are no alternates.**
2. As a follow up to the RFIs regarding project schedule, when is this project expected to be awarded? **By the end of the year.**
3. As a follow up to the RFIs regarding project schedule, please provide an updated project duration, 60 days is too short and not feasible for this project. **Project schedule will be decided w/Owner and selected GC.**
4. 21 – Fire Protection - FP3 By exterior stairs has a FP note regarding wet & dry sprinkler systems. What area of this building is required to have the dry sprinkler system? **There is no dry sprinkler system.**
5. Addendum # 3 has deleted the basement. Please provide updated drawings that indicate the locations of all mechanical equipment/services/fire protection room that were previously located in the basement. **Revised drawings are underway and will be distributed as soon as possible.**
6. In reviewing the RFI responses, I see that RFI response 15 and 30 contradict each other. Please advise if ACT-2 should be per specification manual or per the plans. **Neither. Use Armstrong Classic Fine Fissured model #954, white 24x24x7/8.**
7. Drywall specs note to use type 5/8 at all locations. It also notes to use the impact resistant drywall at all locations. Please advise which is correct. **There is no impact resistant drywall in this project. Standard 5/8" typical.**
8. We cannot find any Wall + Corner Guards on the plans, please advise. **No corner guards at this time.**
9. We cannot find any Fire Extinguishers on the plans, please advise. **Provide a minimum of 10 wall mounted FE's. One at each exterior door location, one outside room 110 in the corridor and 2 in the Existing Assembly at each exit door.**
10. Considering the elimination of the basement from the project, the pier footings on drawing S-4 would have to be redesigned for the steel columns, would you entertain extending the bid date? **Revised structural and mep drawings are pending. There is no bid date extension contemplated at this time.**
11. Addendum #2 states that the 60 day project duration is incorrect and that duration would be discussed at contract signing. That being said, are we given free rein to decide whether we want to start work this winter or wait until spring to avoid carrying the cost of winter conditions? Please advise. **The Owner would like to begin this project as soon as possible after bid award.**
12. At the prebid meeting I mentioned that there multiple (***and differing!***) bid forms and multiple General Conditions issued within the project manual. Will a revised project manual be issued to clarify which documents we are to use? **Everyone is required to fill out all forms in the current spec. since we have to abide by local and federal requirements.**

13. Addendum #2 says to match existing hardware. Since we did not have a sub walkthrough, what type of hardware is there or provide an allowance to carry. **All existing hardware shall be replaced and Hager is used as basis of design.**
14. Room 134 Please clarify areas of wall trim, chair rail, bead board/wainscotting, baseboard that is existing and new. Please provide trim specs and if primed or clear is desired. **Refer to interior elevations of Assembly room.**
15. Room 108D Shows shelving. No elevations or details provided. Are we to bid these and provide some elevations and specs to go off **of 5 shelves h. on adj. heavy duty metal wall brackets.**
16. What is the existing exterior wall construction? More specifically, will work in the following areas include masonry? **Refer to existing drawing set.**
17. What is the existing interior wall construction? Are there any masonry walls that will need patching, infills, etc.? **Provide allowance.**
18. Do you intend to delete the spec 122405- Roller Shades? **Delete spec section.**
19. They did provide a spec for roller shades and I don't see they are covering the new windows with film. **Ignore**
20. Do you have a detail on the windows you want to back light? I am assuming they are in the large gathering space. Being that room has no outside view are the false? **They will be lit a by led strip in metal channel across the inside top of the existing windows to wash them.**

END OF ADDENDUM #6

DEDICATED TO THE YOUTH GROUPS OF EAST WINDSOR

SCOUT HALL

N W E S

NEW YOUTH ASSEMBLY BUILDING FOR
THE EAST WINDSOR SCOUT HALL BUILDING COMMITTEE, Inc.

ABBE ROAD
EAST WINDSOR, CONNECTICUT

BUILDING SHELL DRAWINGS
ISSUED FOR REVIEW & PERMIT APPROVAL

ISSUED APRIL 26, 1999

DESIGN + ENGINEERING TEAM

OWNERS:
EAST WINDSOR SCOUT HALL BUILDING COMMITTEE, Inc.
P.O. BOX 565
BROAD BROOK, CT 06016
CONTACT: AL FLOYD-PRESIDENT

ARCHITECTS:
COMMERCIAL & INDUSTRIAL DESIGN ASSOCIATES, LLC
41 C NEW LONDON TURNPIKE
GLASTONBURY, CT 06033
Ph: 860 657-3442 CONTACT: RICK SENECAL-PROJECT ARCHITECT

CIVIL:
TMR LAND PLANNERS, Inc./ ANCHOR ENGINEERING SERVICES, Inc.
75 NUTMEG LANE
GLASTONBURY, CT 06033
Ph: 860 633-8770 CONTACT: PAT CARRAHER-PROJECT ENGINEER

STRUCTURAL:
BOUNDS-KALBERER ENGINEERS
21 NEW BRITAIN AVE., SUITE 208
ROCKY HILL, CT 06067
Ph: 860 721-8801 CONTACT: FRANK KALBERER-SENIOR ENGINEER/ OWNER

CONSTRUCTION MANAGEMENT:
COMMERCIAL & INDUSTRIAL DESIGN ASSOCIATES, LLC
41 C NEW LONDON TURNPIKE
GLASTONBURY, CT 06033
Ph.: 860 657-3442 CONTACT: RICK SENECAL

PERMIT APPROVAL DRAWING LIST

CIVIL:

L1.1	SITE GRADING PLAN- "REFERENCE ONLY"
L1.2	SITE LAYOUT PLAN-"REFERENCE ONLY"

ARCHITECTURAL:

T1.1	TITLE SHEET
A1.0	OVERALL BUILDING FLOOR PLAN
A1.1	PARTIAL ENLARGED FLOOR PLAN-PART 'A'
A1.2	PARTIAL ENLARGED FLOOR PLAN-PART 'B'
A2.1	OVERALL ROOF PLAN
A3.1	NORTH + WEST EXTERIOR ELEVATIONS
A3.2	SOUTH + EAST EXTERIOR ELEVATIONS
A5.1	WALL TYPE SCHEDULE
A5.2	DOOR FINISH SCHEDULE
A8.1	BUILDING CROSS SECTION 'A' ASEMBLY HALL AREA
A8.2	BUILDING SECTION 'B'-ADMINISTRATION AREA
A8.3	BUILDING SECTION 'C'-ASSEMBLY HALL AREA

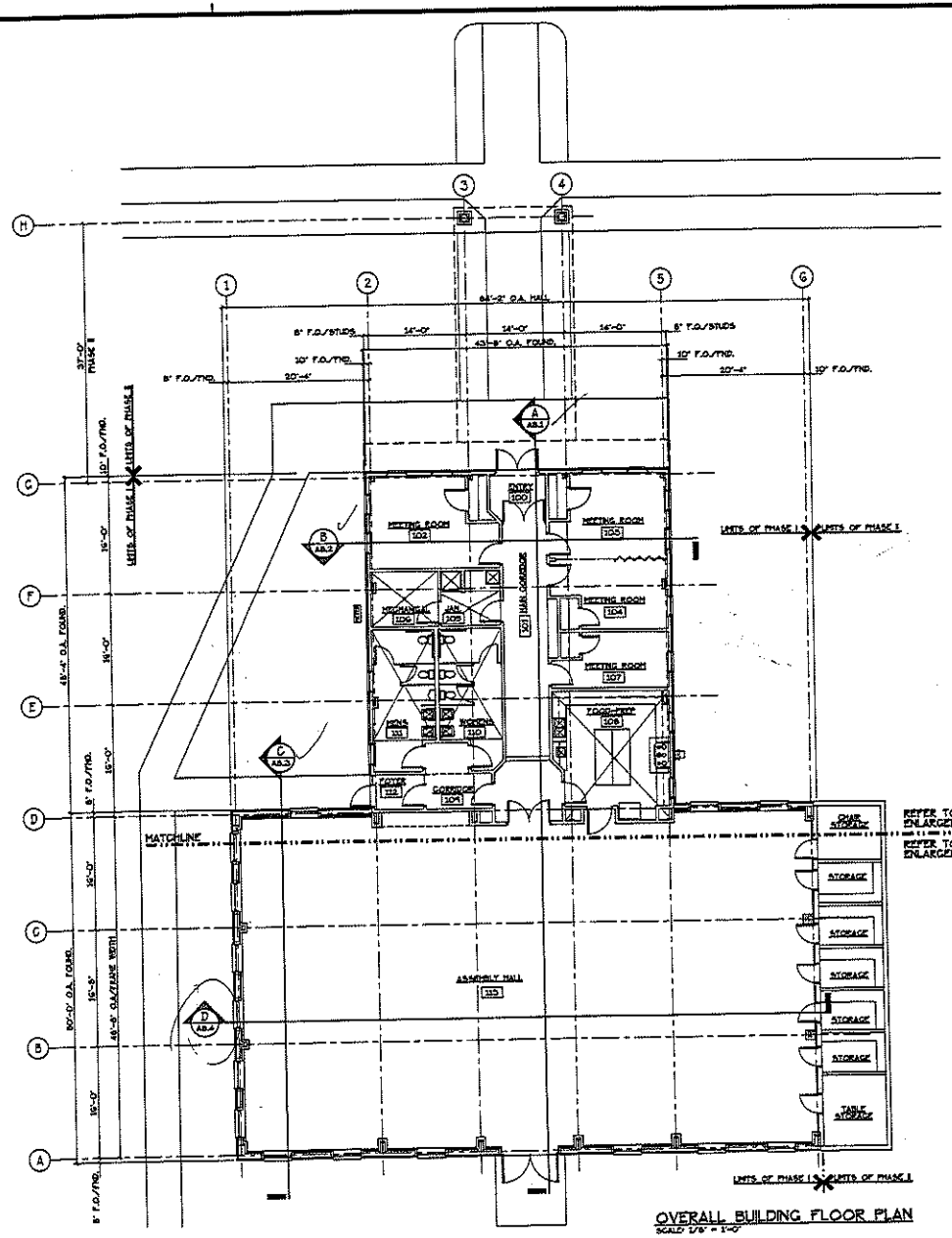
STRUCTURAL:

S1.0	FOUNDATION + ROOF FRAMING PLANS
S2.0	ROOF FRAMING AND STEEL DETAILS

MECHANICAL:

NO MECHANICAL WORK INCLUDED IN THIS BID PACKAGE

BUILDING DEPT. DATE 4/6/99 RECEIVED



OVERALL BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	
A	4/26/99	RRB	SHELL PERMIT APPROVAL
		BY	RELEASED FOR:

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

OVERALL BUILDING PLAN

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
415 NEW LONDON TURNPIKE
GLASTONBURY, CT. 06033
Ph. (860) 657-3484 Fax (860) 657-3484

NORTH

SCALE	1/8" = 1'-0"
DATE	2.12.99
DRAWN BY:	RRB
FILE:	2DA3DCP

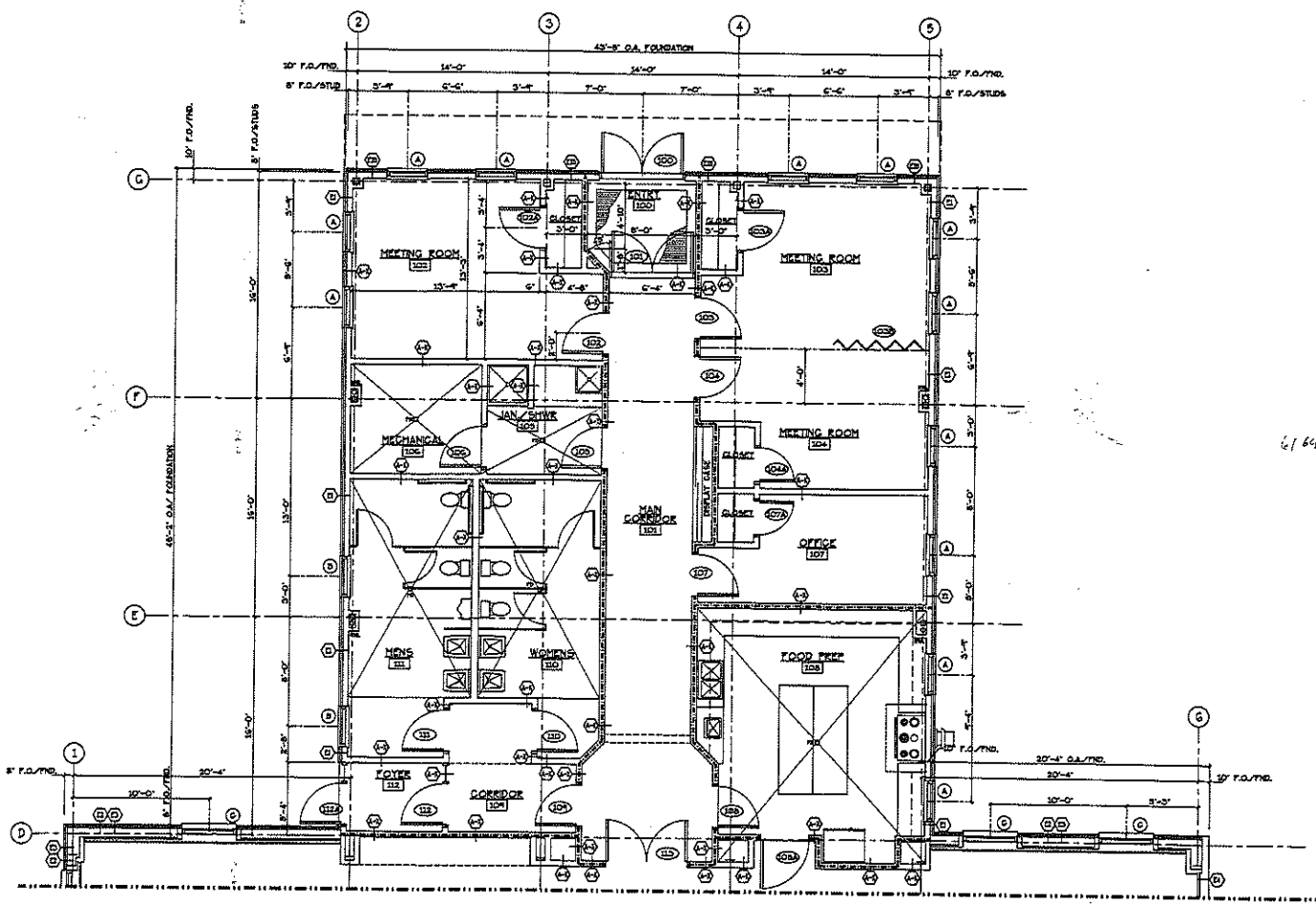
A1.0

C-1010

LAST CAD UPDATED 4/26/99

DRAWING LEGEND

- WALL TYPE-REFER TO WALL TYPE SCHEDULE FOR DETAILS
- WINDOW TYPE-REFER TO WINDOW SCHEDULE FOR DETAILS
- DOOR NUMBER-REFER TO DOOR SCHEDULE FOR DETAILS
- ROOM NUMBER-REFER TO ROOM SCHEDULE FOR FINISH DETAILS
- RAIN WATER LEADER-CONNECT TO UNDERGROUND STORM LINE REFER TO MECHANICAL DRAWINGS FOR INFORMATION
- FLOOR DRAIN-SET MIN 2" BELOW MAIN FLOOR LEVEL
- 2 HOUR FIRE RATED WALL ASSEMBLY SEE WALL TYPES FOR DETAILS
- LIMITS OF CONSTRUCTION OVERHEAD-REFER TO REFLECTED CEILING PLANS FOR DETAILS



PART 'A'
ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	RELEASED FOR
F	4/15/99	RRS	BLDG. PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
EAST WINDSOR, CONNECTICUT

ENLARGED FLOOR PLAN-PART 'A'

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
115 NEW LONDON TURNPIKE
EAST WINDSOR, CT 06088
PH. (860) 627-3442 FAX. (860) 627-3484

SCALE: 1/4" = 1'-0"
DATE: 2-12-99
DRAWN BY: RRS
FILE: 1041SEP

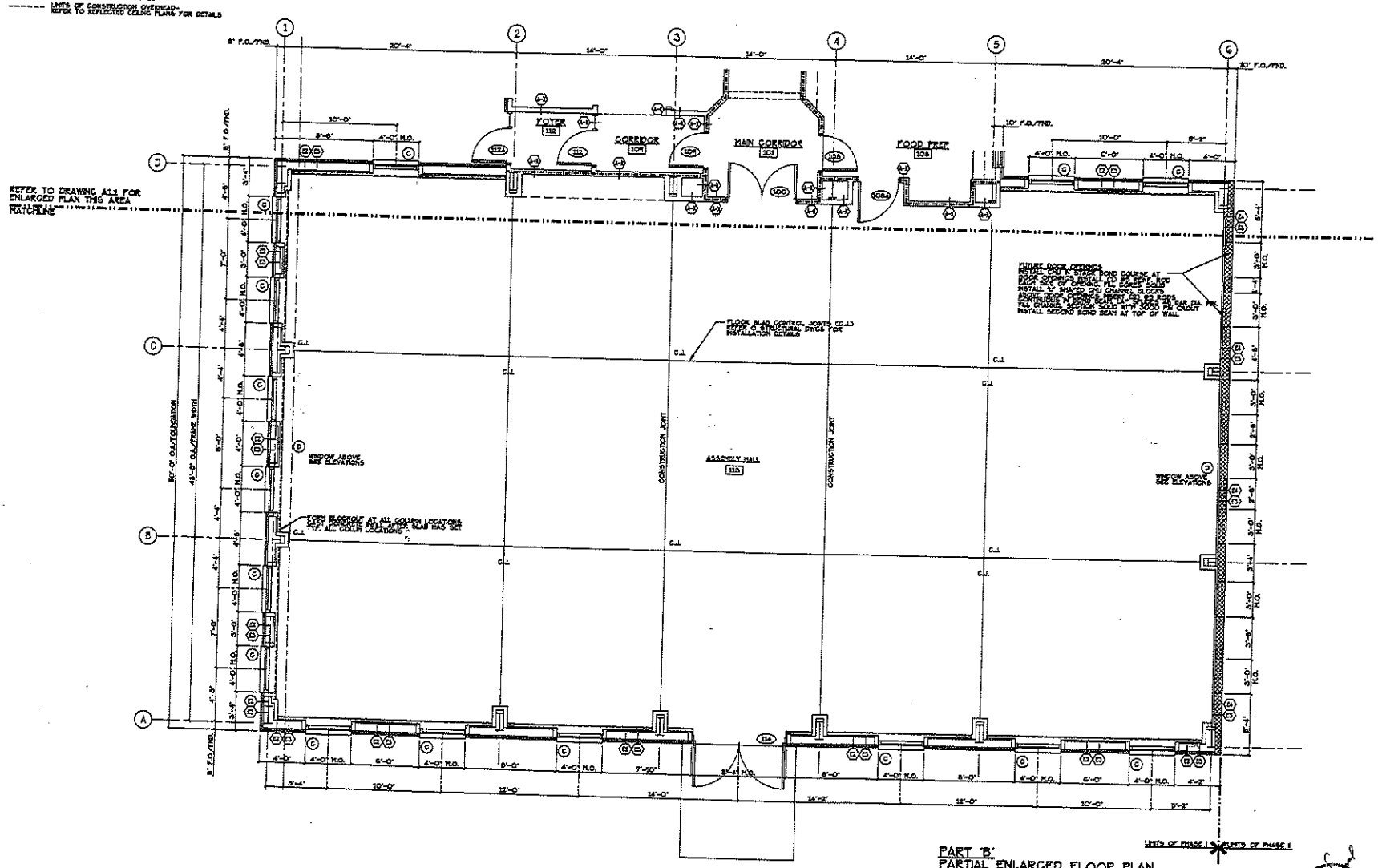
A1.1

C-1010

LAST CADD UPDATE: 4/15/99

DRAWING LEGEND

- WALL TYPE-REFER TO WALL TYPE SCHEDULE FOR DETAILS
- WINDOW TYPE-REFER TO WINDOW SCHEDULE FOR DETAILS
- DOOR NUMBER-REFER TO DOOR SCHEDULE FOR DETAILS
- ROOM NUMBER-REFER TO ROOM SCHEDULE FOR FINISH DETAILS
- RWL RAIN WATER LEADER-CONNECT TO UNDERGROUND STORM LINE REFER TO MECHANICAL DRAWINGS FOR INFORMATION
- FD FLOOR DRAIN-SET MIN 1' BELOW MAIN FLOOR LEVEL
- 1 HOUR FIRE RATED WALL ASSEMBLY SEE WALL TYPES FOR DETAILS
- LIMITS OF CONSTRUCTION OVERHEAD- REFER TO REFLECTED CEILING PLANS FOR DETAILS



PART 'B'
PARTIAL ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

F	4/26/99	RES	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

ENLARGED FLOOR PLAN- PART 'B'

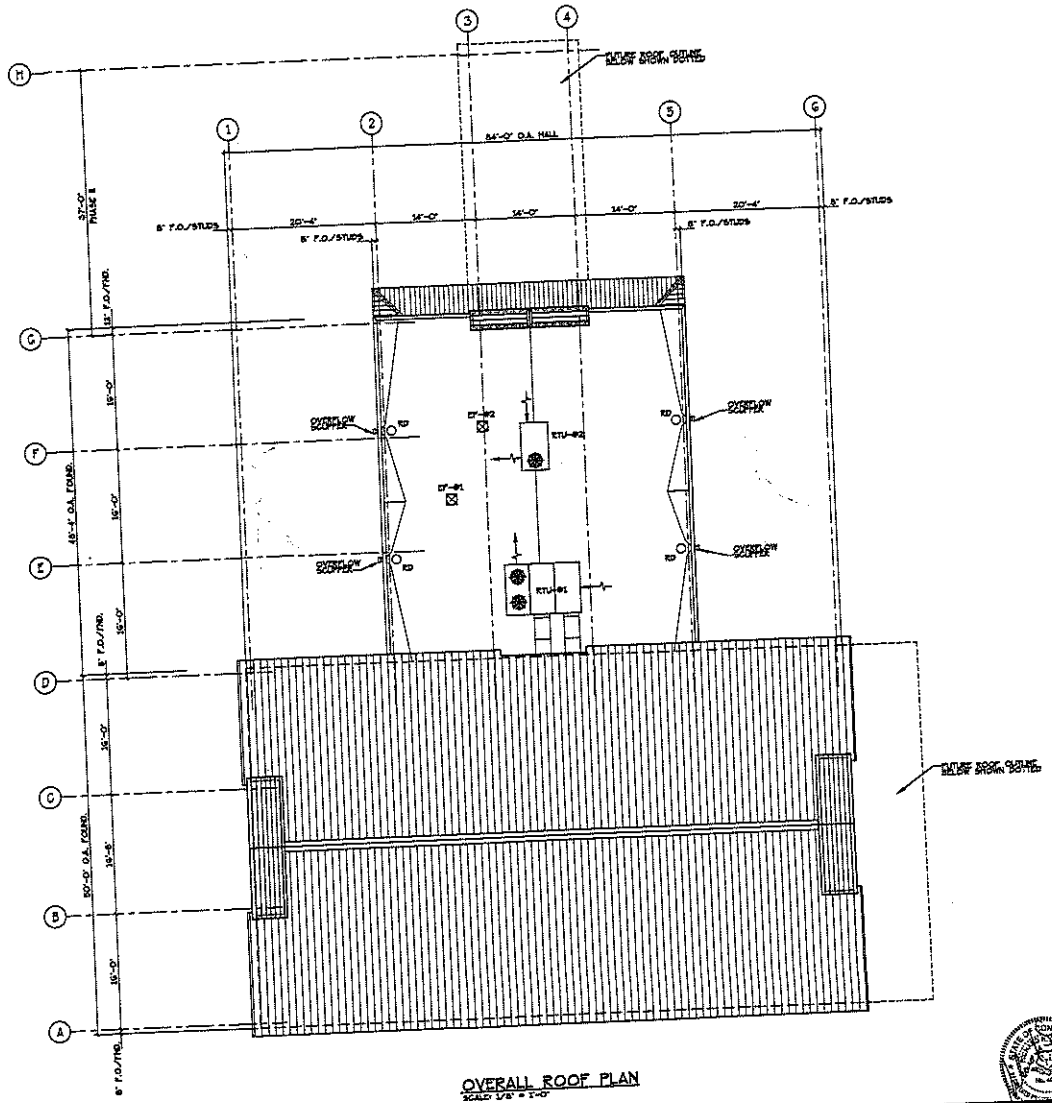
COMMERCIAL & INDUSTRIAL DESIGN ASSOCIATES, LLC
ARCHITECTURE & PLANNING
CONSTRUCTION MANAGEMENT
41-2 NEW LONDON, CT 06333
Ph. (860) 437-3148 Fax (860) 437-3184

NORTH

SCALE: 1/4" = 1'-0"
DATE: 2.12.99
DRAWN BY: RES
FILE: 10A2.DWG

A1.2

C-1010



OVERALL ROOF PLAN
SCALE: 1/8" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	RELEASED FOR:
F	4/26/99	RKS	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
EAST WINDSOR, CONNECTICUT

OVERALL ROOF PLAN

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC

ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
1-3 MONARCH PLACE
SUITE 1500
SPRINGFIELD, MASS.
Ph. (860) 657-3443 Fax. (860) 657-3484

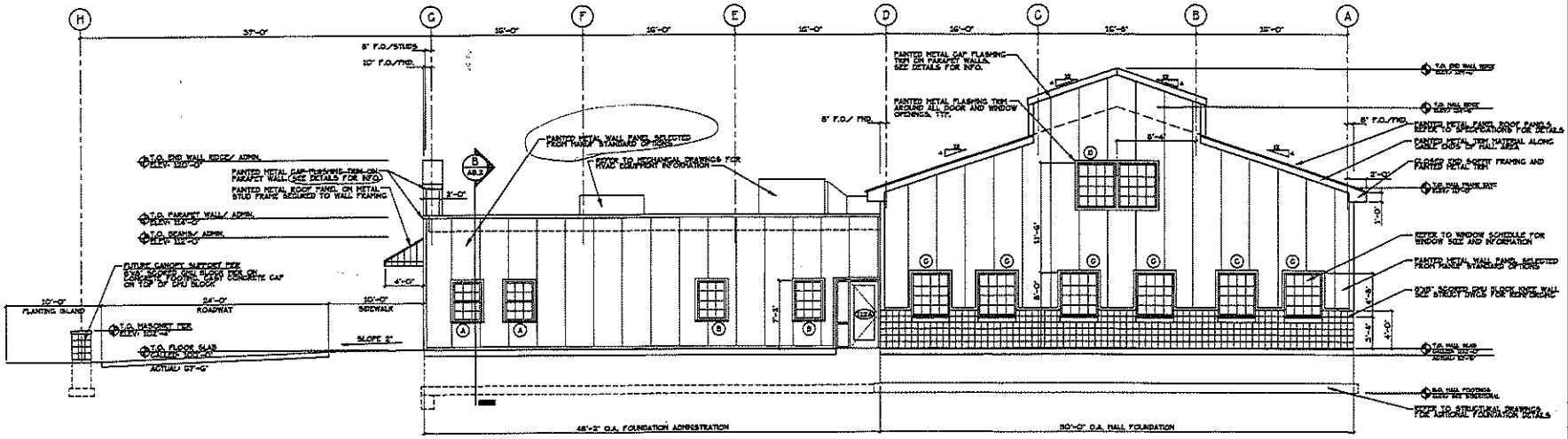
NORTH

SCALE 1/8" = 1'-0"
DATE 3.22.99
DRAWN BY: RKS
FILE: 10A2100

A2.1

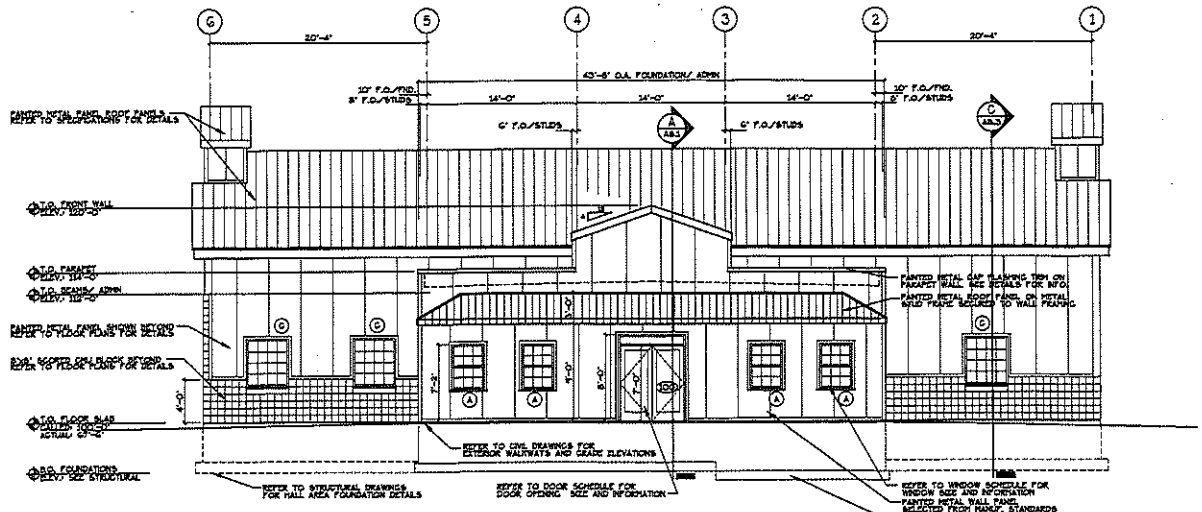
C-1010

REV. CARD UPDATED 4/26/99



WEST ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	RELEASED FOR:
P	4/26/99	RAS	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEPBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

NORTH + WEST ELEVATIONS

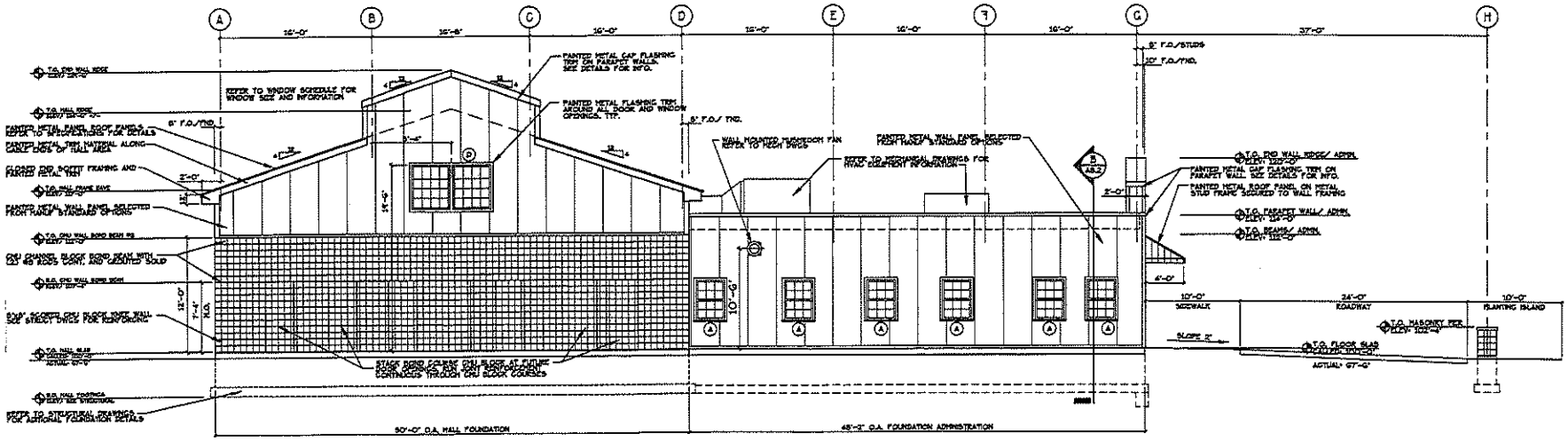
COMMERCIAL & INDUSTRIAL DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT

SCALE: 3/16" = 1'-0"
DATE: 2.22.99
DRAWN BY: RRS
FILE: 10A3.DWG

A3.1

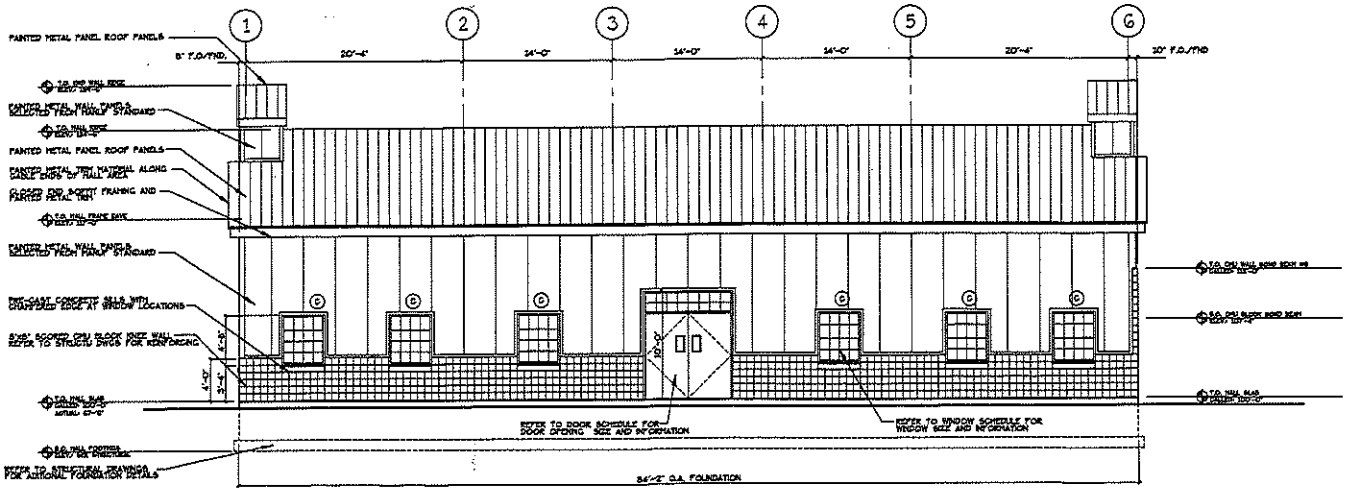
C-1010

LAST CADD UPDATED: 4/26/99



EAST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	RELEASED FOR:
P	4/26/99	RRS	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

EAST + SOUTH ELEVATIONS

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
123 FOX HILLS DRIVE
BLOOMFIELD, CT 06002
PH. (860) 657-3442 FAX (860) 657-3484

SCALE: 3/16" = 1'-0"
DATE: 2.23.99
DRAWN BY: RRS
FILE: 10432208

A3.2

C-1010

WALL TYPES

INTERIOR WALLS

1 HOUR FIRE RATED WALL ASSEMBLY:
UL DESIGN #U-422

A1

3 5/8" x 25 GA METAL STUDS @ 16" O.C. WITH 5/8" FIRECODE 'C' GYPSUM WALLBOARD EACH FACE TO UNDERSIDE OF STEEL DECK. INSTALL 3 1/2" UNFACED FIBERGLASS BATT INSULATION FULL HEIGHT. SECURE WALLBOARD WITH S-12 SCREWS AT 12" O.C. TAPE, SEAL AND SAND SMOOTH ALL JOINTS FOR PAINTING. FILL SPACE BETWEEN TOP TRACK AND ROOF DECK WITH FIRE SAFING MATERIAL FULL DEPTH OF WALL.

A2

3 5/8" x 25 GA METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD EACH FACE TO UNDERSIDE OF STEEL DECK. INSTALL 3 1/2" UNFACED FIBERGLASS BATT INSULATION FULL HEIGHT. SECURE WALLBOARD WITH S-12 SCREWS AT 12" O.C. TAPE, SEAL AND SAND SMOOTH ALL JOINTS FOR PAINTING.

A3

3 5/8" x 25 GA METAL STUDS @ 16" O.C. WITH 5/8" MOISTURE RESISTANT WALLBOARD EACH SIDE TO 8'-0" A.F.F. INSTALL 5/8" GYPSUM WALLBOARD FROM TOP OF MR BOARD TO UNDERSIDE OF ROOF DECKING. TAPE, SEAL AND SAND SMOOTH ALL JOINTS FOR PAINTING.

A3S (A3)

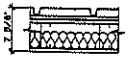
SAME AS (A3) ABOVE EXCEPT INSTALL 5/8" MOISTURE RESISTANT "GREEN BOARD" ON BOTH SIDES OF STUD WALL TO 8'-0" A.F.F. INSTALL 5/8" GYPSUM WALLBOARD TO UNDERSIDE OF ROOF DECK. TAPE, SEAL AND SAND SMOOTH ALL JOINTS FOR PAINTING AND FINISHES.

A4

6" x 25 GA METAL STUDS @ 16" O.C. WITH 5/8" MOISTURE RESISTANT WALLBOARD EACH SIDE. INSTALL MR BOARD TO 4'-0" A.F.F. ON ONE SIDE. INSTALL MR BOARD TO 8'-0" A.F.F. ON SECOND SIDE WITH 5/8" GYPSUM BOARD TO UNDERSIDE OF ROOF DECKING. TAPE, SEAL AND SAND SMOOTH ALL JOINTS FOR PAINTING.

EXTERIOR WALLS

E1

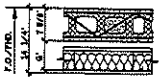


4" x 20 GA METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD FULL HEIGHT ON INTERIOR FACE AND 3/8" GYPSUM SHEATHING FULL HEIGHT ON EXTERIOR FACE. INSTALL TYVEK AIR INFILTRATION MEMBRANE ON EXTERIOR WALL FACE. SEAL ALL JOINTS. TAPE AND SEAL ALL WALLBOARD JOINTS. SAND INTERIOR JOINTS FOR PAINTING. INSTALL 3 1/2" UNFACED FIBERGLASS BATT INSULATION IN STUD CAVITY FULL HEIGHT. INSTALL 6 MIL VAPOR BARRIER ON INTERIOR FACE. INSTALL 7/8" "HIGHHAT" METAL FURRING CHANNELS @ 24" O.C. ON EXTERIOR FACE. INSTALL PAINTED METAL WALL PANELS TO FURRING CHANNELS WITH RUBBER GASKETED SELF SEALING SCREWS. SCREWS TO BE PAINTED TO MATCH METAL PANEL COLOR SELECTION.

E1S (E1)

SAME AS (E1) ABOVE, EXCEPT INSTALL 4" x 20 GA METAL STUDS @ 12" O.C.

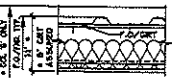
E2



8" THICK SPLIT FACED CMU BLOCK REFER TO WALL SECTIONS FOR DETAILS. INSTALL DUR-O-WALL TRUSS TYPE JOINT REINF. @ 16" O.C. + TOP 2 COURSES. INSTALL CO #5 REINFORCING ROD @ 48" O.C. VERTICALLY IN BLOCK CORES. LAP SPLICES 48 BAR DIAMETERS. FILL CORES SOLID WITH 3000 PSI GROUT. INSTALL 4" x 20 GA. METAL STUDS AT 16" O.C. WITH 3/8" GYPSUM SHEATHING ON EXTERIOR SIDE. SEAL ALL JOINTS. INSTALL 5/8" GYPSUM WALLBOARD ON INTERIOR FACE. TAPE, SEAL AND SAND SMOOTH INTERIOR JOINTS. INSTALL 3 1/2" UNFACED FIBERGLASS BATT INSULATION AND 6 MIL VAPOR BARRIER ON INTERIOR FACE. SEAL ALL V.B. JOINTS. SECURE BLOCK TO STUD WALL WITH GALVANIZED STRAP ANCHORS INSTALLED 32" O.C. HORIZONTALLY @ 16" O.C. VERTICALLY AND TOP TWO COURSES.

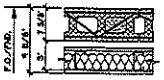
NOTE: WALL TYPE E3 INSTALLED ABOVE THIS WALL.

E3



1 1/2" DEEP "ARCHITECTURAL STYLE" PAINTED METAL WALL PANELS SECURED TO 'Z' CRT HYBRIDS AS RECOMMENDED BY MANUFACTURER WITH SELF SEALING RUBBER GASKETED SELF TAPPING SCREWS. REFER TO MANUF. FOR SPACING REQUIREMENTS. INSTALL 7/8" "HIGHHAT" METAL FURRING CHANNELS TO RIGID TAPE OF 'Z' CRTS. INSTALL 5/8" GYPSUM WALLBOARD PANELS FULL HEIGHT OF WALL ON INTERIOR FACE. INSTALL 6" UNFACED FIBERGLASS BATT INSULATION IN CAVITY SPACE. INSTALL 6 MIL VAPOR BARRIER ON INTERIOR FACE OF WALL ASSEMBLY. SEAL ALL V.B. JOINTS. TAPE, SEAL AND SAND SMOOTH ALL WALLBOARD JOINTS FOR PAINTING. WALL TO BE MOUNTED ON MASONRY WALL BELOW. REFER TO ENLARGED WALL SECTIONS FOR TOP OF MASONRY WALL ELEVATION.

E4



8" THICK SPLIT FACED CMU BLOCK TO 22'-0" A.F.F. INSTALL DUR-O-WALL TRUSS TYPE JOINT REINFORCING @ 16" O.C. INSTALL CO #5 REINFORCING ROD @ 32" O.C. VERTICALLY IN BLOCK CORES, AND EACH SIDE OF DOOR OPENINGS. LAP SPLICES 48 BAR DIAMETERS MIN. FILL CORES SOLID WITH 3000 PSI GROUT. INSTALL 3 1/2" x 20 GA. METAL STUDS AT 16" O.C. WITH 3/8" GYPSUM SHEATHING ON EXTERIOR SIDE. SEAL JOINTS. INSTALL 5/8" GYPSUM WALLBOARD ON INTERIOR FACE. TAPE, SEAL AND SAND SMOOTH INTERIOR JOINTS. INSTALL 3 1/2" UNFACED FIBERGLASS BATT INSULATION AND 6 MIL VAPOR BARRIER ON INTERIOR FACE. SEAL ALL V.B. JOINTS. SECURE BLOCK TO STUD WALL WITH GALVANIZED STRAP ANCHORS INSTALLED 32" O.C. HORIZONTALLY @ 16" O.C. VERTICALLY AND TOP TWO COURSES.

NOTE: WALL TYPE E3 INSTALLED ABOVE THIS WALL.

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

LAST CADD UPDATE: 4.4.99

NUMBER	DATE	BY	RELEASED FOR:
B	4/13/99	RRS	SHELL BID CORRECTIONS
A	4/26/99	RRS	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
EAST WINDSOR, CONNECTICUT

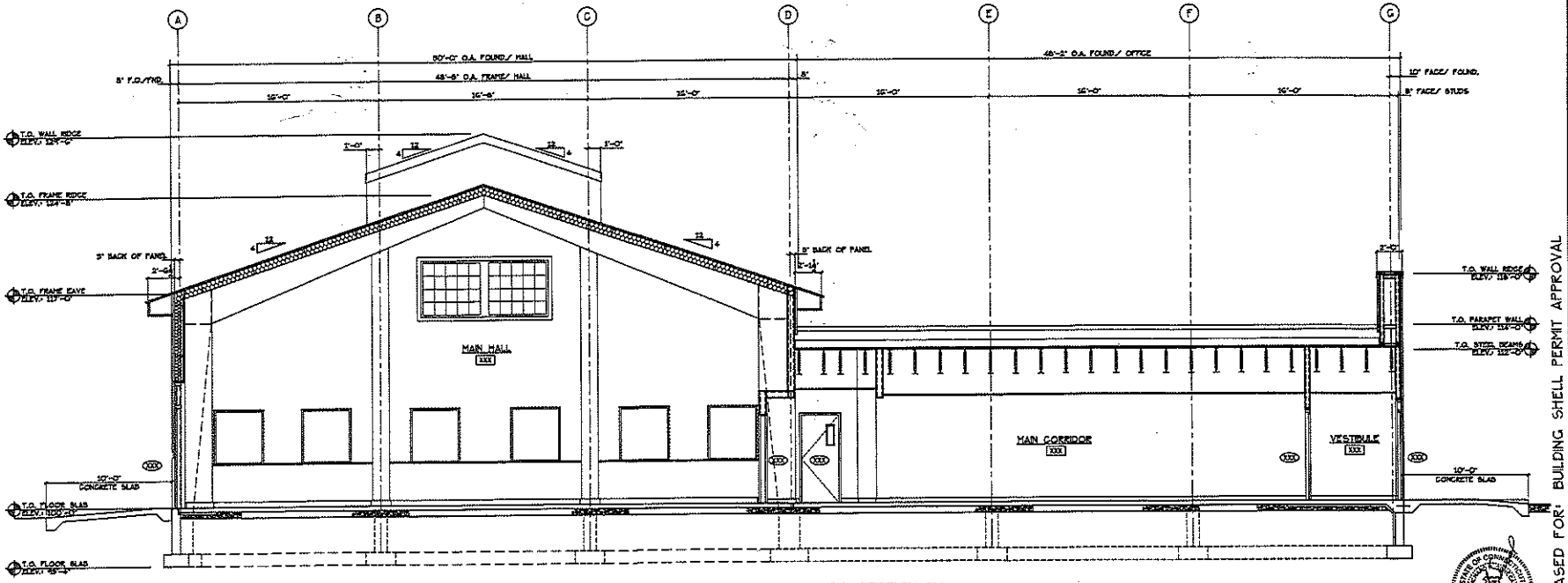
WALL TYPE + FINISH SCHEDULES

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
43-3 NEW LEDGES SUMMIT
EAST HARTFORD, CT 06108
PH. (860) 537-3483 FAX (860) 537-3484

SCALE: NONE
DATE: 4.6.99
DRAWN BY: RRS
FILE: 10A50DP

A5.1

C-1010



BUILDING CROSS SECTION 'A'

SCALE: 1/4" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

LAST CARD UPDATED 4/26/99

ACTION	DATE	BY	RELEASED FOR
F	4/26/99	RES	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

BUILDING CROSS SECTION 'A'

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC

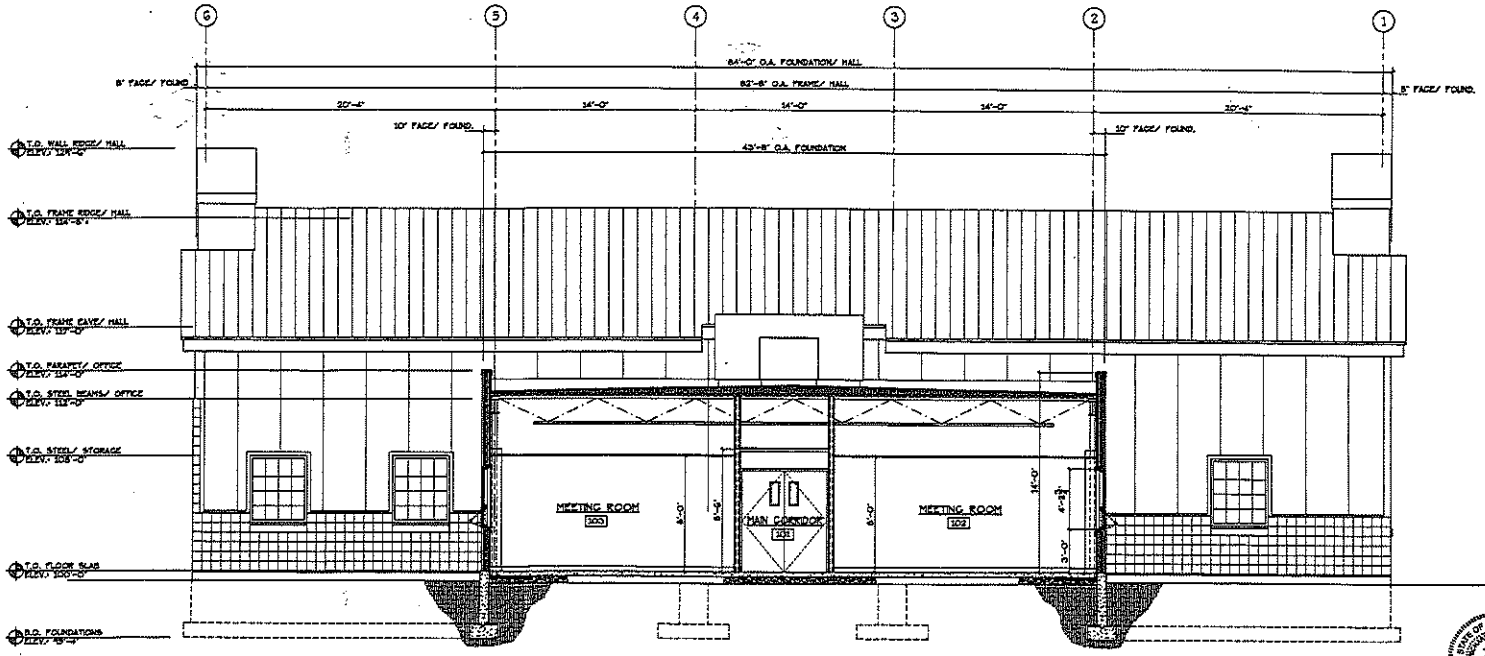
ARCHITECTURE PLANNING
CONSTRUCTION MANAGEMENT
LAND DEVELOPMENT SERVICES
EASTCHESTER, CT 06065
Ph. (860) 887-3419 Fax (860) 887-3464

NORTH

SCALE: 1/4" = 1'-0"
DATE: 2.22.99
DRAWN BY: RES
FILE: 104&105F

A8.1

C-1010



BUILDING SECTION 'B'
SCALE: 1/4" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	RELEASED FOR:
F	4/26/99	RKB	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

BUILDING SECTION 'B'

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
115 ROCKLEDGE DRIVE
BLOOMFIELD, CT 06002
PH. (860) 697-3423 FAX (860) 697-3484

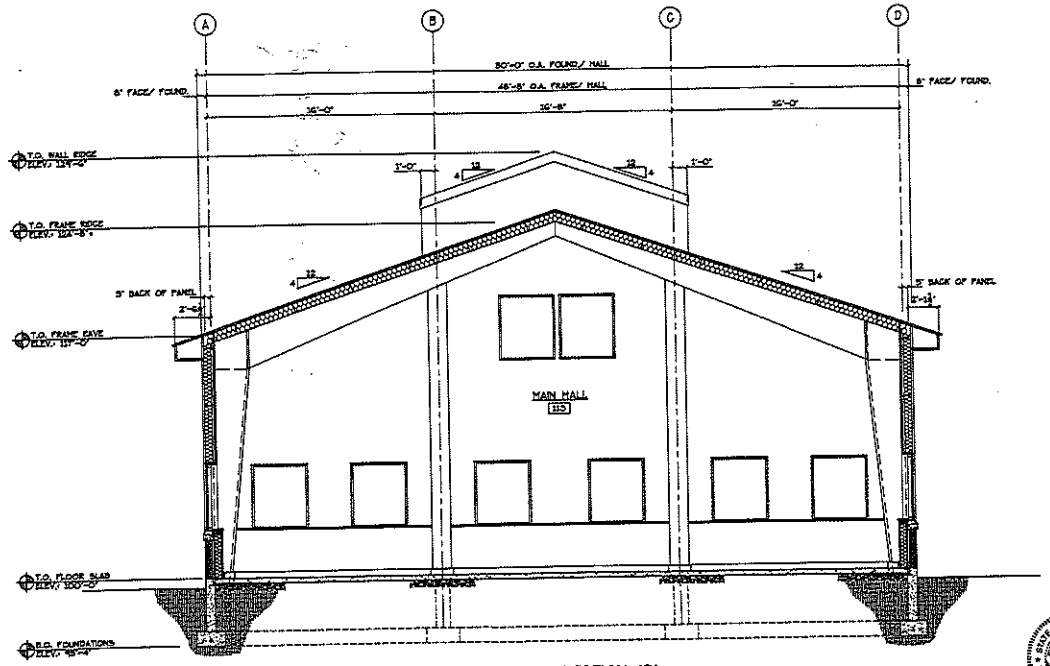
NORTH

SCALE: 1/4" = 1'-0"
DATE: 2.12.99
DRAWN BY: RKB
FILE: 10A82CF

A8.2

C-1010

LAST CADD UPDATE: 4/26/99



BUILDING SECTION 'C'
SCALE: 1/4" = 1'-0"

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

ACTION	DATE	BY	
P	4/26/99	RRS	SHELL PERMIT APPROVAL
			RELEASED FOR:

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
EAST WINDSOR, CONNECTICUT

BUILDING SECTION 'C'

COMMERCIAL & INDUSTRIAL
DESIGN ASSOCIATES, LLC

ARCHITECTURE & PLANNING
CONSTRUCTION MANAGEMENT
45-2 NEW LONDON TURNPIKE
ELLINGTON, CT 06029
Ph. (860) 875-3418 Fax (860) 875-3484

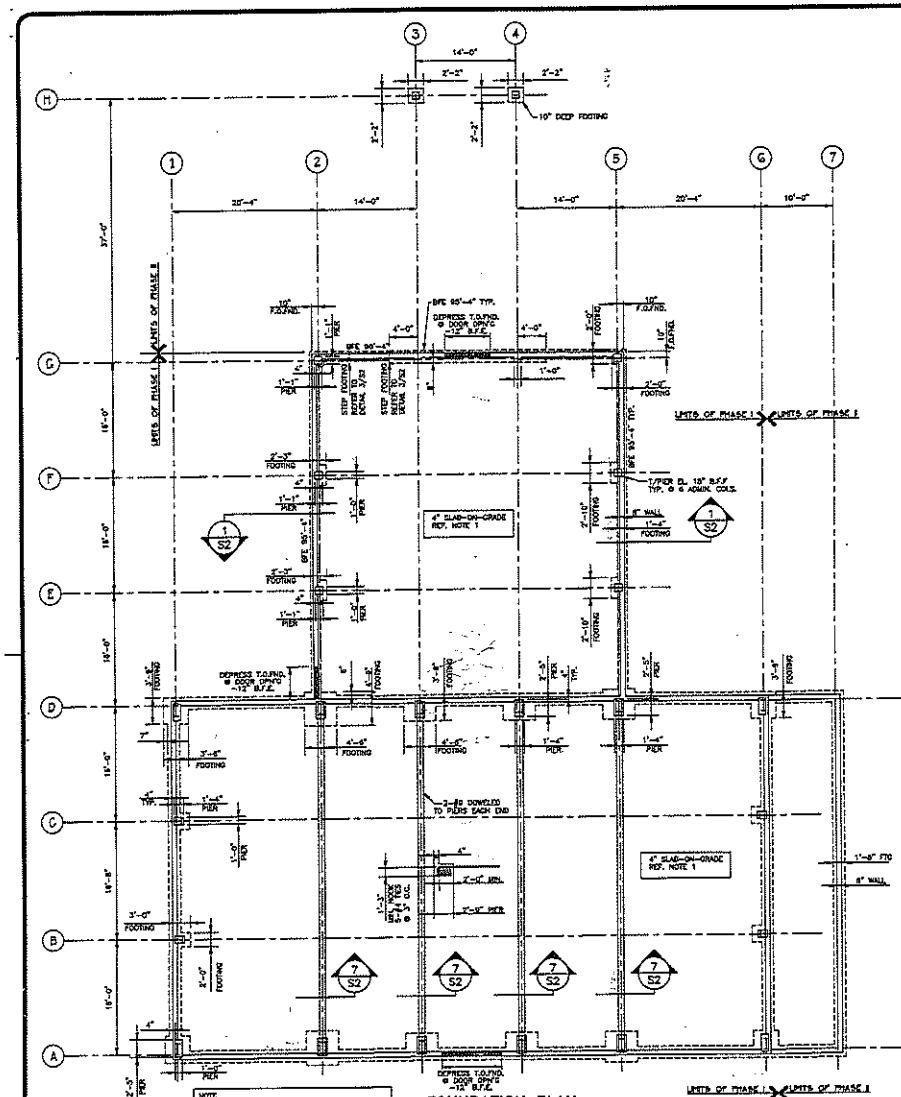
NORTH

SCALE: 1/4" = 1'-0"
DATE: 2.12.99
DRAWN BY: RRS
FILE: 1246SCP

A8.3

C-1010

LAST CADD UPDATE: 4/26/99



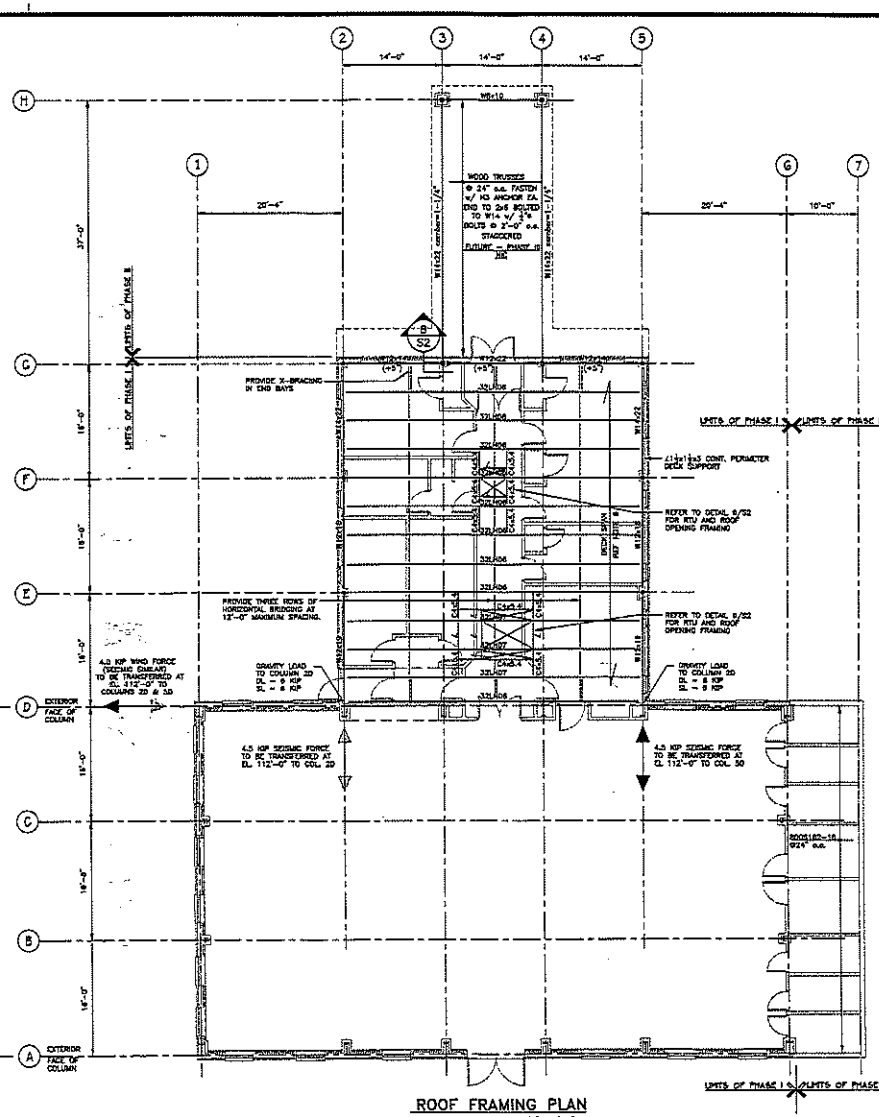
FOUNDATION PLAN

1/8" = 1'-0"

NOTE:
FOUNDATION PLAN ACCEPTABLE FOR BID PURPOSES
FINAL FOUNDATION PLAN WILL BE ISSUED AFTER SELECTION/COORDINATION WITH PRE-ENGINEERED BUILDING MANUFACTURER.

FOUNDATION PLAN NOTES

1. Top of Slab is at FFE 100'-0" (87.50 actual) U.O.N. on Plans or Details. U.O.N. all new concrete slabs-on-grade shall be 4" thick with 1 layer WWF 6x6-W2.9/W2.9 located at mid-depth on concrete brick chairs set at 3'-0" o.c. max. See Det. 5/S2. Provide #3x3'-0" long centered in SOG at all re-entrant corners.
2. Dowel masonry to foundation with #5 @ 48" o.c. with min. 48 bar diameter lap/embedment. Provide #5 vertical dowels within 8" of all jambs and corners and align with foundation dowels; any vertical bars shall be offset by less than bar spacing/3 but not to exceed 8". Provide #3 top and bottom of all openings and extend 2'-0" minimum beyond opening.
3. Under interior slabs-on-grade provide continuous 10 mil vapor barrier. Lap joints 6" minimum and tape. Turn vapor barrier up at edges and penetrations.
4. Administrative area foundation wall shall be 8" thick and shall be reinforced with 1-#6 continuous at top and bottom. Wall footings shall be 10" thick and have a typical 4" projection each side of foundation wall, U.O.N. on plans, and shall be reinforced with 2-#4 continuous. Provide continuous 2"x4" key between wall and footing.
3. Meeting Hall foundation shall be similar to Note 4 except footing shall be 12" thick with 2-#4 continuous and 6" projections. Meeting Hall foundation subject to change after coordination with Pre-Engineered Building Manufacturer.
6. Refer to Architectural Drawings for floor slopes and depressions scheduled to be cast in floor slabs.
7. Refer to Mechanical Drawings for location of sleeves.



ROOF FRAMING PLAN

1/8" = 1'-0"

ROOF FRAMING PLAN NOTES

1. Top of Steel El. 112'-0" U.O.N. as (+5") above El. 112'-0".
2. Meeting Hall area to be Pre-Engineered Building by others. Provide resistance for lateral forces given at Columns 2D and 5D. Provide for 140 psf lateral and 300 psf gravity loading at column line 5 from Storage Framing.
3. Type 1 Moment Connection shown thus ⊢—. Refer to detail 8/S2 for Moment Connection or provide alternative for 30 kip-ft for Engineer's approval. Phase II frame at column line H shall have full penetration bevel groove welds of WB10 top and bottom flanges to TS 4x4 columns or other approved connection for 6 kip-ft.
4. Provide shear connections for 10 kips (1 kip = 1000 lb) U.O.N.
5. OWJ shall be 32LH, underslung with double pitched top chords. Horizontal bracing shall be provided at 12'-0" maximum spacing. Phase II frame at column line H shall have full penetration bevel groove welds of WB10 top and bottom flanges to TS 4x4 columns or other approved connection for 6 kip-ft.
6. Metal Roof Deck shall be 1 1/2" deep WR22.
7. Phase II Drive-Thru Canopy roof shall be 1/2" minimum Structural 1 Plywood fastened to trusses with 10d nails at 6" o.c. at edges, 12" field.

BOUNDS-KALBERER
ENGINEERS

LAST CADD UPDATE: 4.7.99

#	DATE	BY	RELEASED FOR:
P	4/26/99	RES	SHELL PERMIT APPROVAL
ACTION	DATE	BY	RELEASED FOR:

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

FOUNDATION AND ROOF FRAMING PLANS

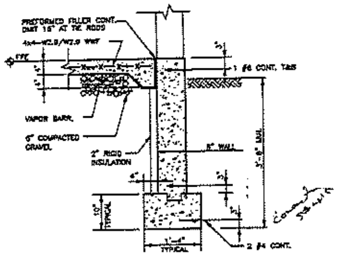
COMMERCIAL & INDUSTRIAL DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
415 NEW LONDON TURNPIKE
GLASTONBURY, CT 06033
PH. (860) 657-3442 FAX (860) 657-3484

SCALE: 1/8" = 1'-0"
DATE: 3.24.99
DRAWN BY: PCH
FILE: 105100CF

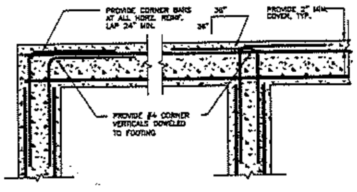
S1.0

BKE 169-04

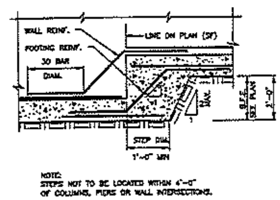
RELEASED FOR: BUILDING SHELL PERMIT APPROVAL



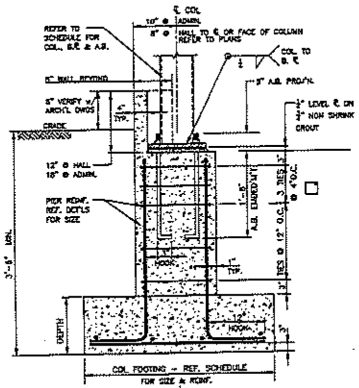
1/S2 TYPICAL FOUNDATION WALL
3/4" = 1'-0"



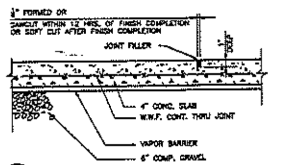
2/S2 TYPICAL FOUNDATION WALL & FTG REINFORCING PLAN DETAILS
N.T.S.



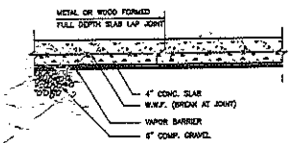
3/S2 TYPICAL STEP FOOTING
NOT TO SCALE



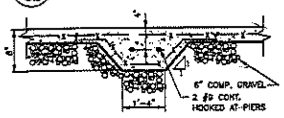
4/S2 TYPICAL PIER AND FOOTING
NTS



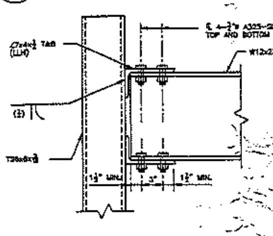
5/S2 CONTROL (CJ) JOINT DETAIL
NOT TO SCALE



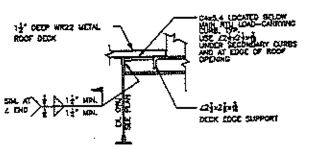
6/S2 CONSTRUCTION JOINT DETAIL
NOT TO SCALE



7/S2 MEETING HALL HAUNCH SLAB
NTS



8/S2 MOMENT CONNECTION AT COL. 3G & 4G
1 1/2" = 1'-0"



9/S2 TYPICAL ROOF TOP EQUIPMENT SUPPORT DETAIL

PIER AND FOOTING SCHEDULE

AREA	ADMINISTRATIVE			FUTURE CANOPY	MEETING HALL - ASSUMED PENDING VERIFICATION			
COL. MARK	E2 E3 F2 F5	G2 G5	G3 G4	H3 H4	A1 A6 D1 D6	A2 A5 C2 C5	A3 A4 C3 C4	B1 C1 B6 C6
PIER SIZE (E-W x N-S)	13"x12"	13"x13"	12"x13"	12"x12"	12"x29"	18"x29"	18"x29"	18"x12"
PIER REINF.	4-#6 + TIES	4-#6 + TIES	4-#8 + TIES	4-#6 + TIES	6-#7 + TIES	6-#7 + TIES	4-#7 + TIES	4-#8 + TIES
FOOTING (E-W x N-S)	27"x34"	24"x24"	COMBINED 27"x21"	26"x25"	42"x45"	34"x57"	54"x45"	38"x24"
FOOTING THICK.	10"	10"	10"	10"	12"	12"	12"	12"
FOOTING REINF.	3-#4 EW	3-#4 EW	3-#5 LW	3-#4 EW	3-#5 EW	4-#5 EW	4-#5 EW	3-#4 EW

SCHEDULE NOTES
1. TIES SHALL BE @ 12" o.c. MAX. EXCEPT TOP 3 @ 4" o.c. MEETING HALL PIERS SHALL HAVE 5 TIES @ 3" o.c. AT TOP. ALL VERTICAL BARS SHALL BE LATERALLY SUPPORTED BY TIES.
2. REFER TO DETAIL 4/S2 FOR PIER AND FOOTING DETAILS.
3. E-W x N-S INDICATES EAST-WEST x NORTH-SOUTH DIRECTION FOR DIMENSIONS. PIER DIMENSIONS DO NOT INCLUDE 4" SHELF.

NEW COLUMN SCHEDULE

COL. MARK	E2 E3 F2 F5	G2 G5	G3 G4	FUTURE CANOPY H3 H4
CAP PLATE	3/4" x4" x4"	3/4" x4" x4"	3/4" x6" x6"	3/4" x4" x4"
T/STEEL EL. 113'-0" ROOF / FTG. EL. 100'-0" (97.50)	TS 4x4x1/4	TS 4x4x1/4	TS 6x6x1/4	TS 4x4x1/4
BASE PLATE	11" x1/2" x8"	10" x1/2" x10"	12" x1/2" x12"	10" x1/2" x10"
BASE ℄ DETAIL				
ANCHOR BOLTS	3-3/4" DIA.	4-3/4" DIA.	4-3/4" DIA.	4-3/4" DIA.

SCHEDULE NOTES
1. DIMENSIONS ARE FROM TOP OF CAP PLATE AND BOTTOM OF BASE PLATE.
2. COLUMNS ARE SYMMETRICAL WITH BASE PLATES U.O.N.
3. WELD CAP PLATE AND BASE PLATE TO COLUMNS WITH 1/4" FILLET ALL AROUND.
4. ANCHOR BOLTS ARE ASTM A307 U.O.N.
5. C3/C4 CAP PLATES USED FOR MOMENT CONNECTION. MODIFY IF DIFFERENT MOMENT CONNECTION USED. REF. DET. 8/S2.
6. REFER TO DETAIL 4/S2 FOR BASE PLATE AND ANCHOR BOLT NOTES.

STRUCTURAL GENERAL NOTES

GENERAL

1. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS & SPECIFICATIONS FOR INFORMATION, DIMENSIONS, AND DETAILS AFFECTING STRUCTURAL WORK, BUT WHICH ARE NOT NOTED ON STRUCTURAL DRAWINGS. EXCEPTIONS TO ITEMS AS OUTLINED IN ANY GENERAL NOTES ON STRUCTURAL DRAWINGS ARE SPECIFICALLY NOTED ON PLANS AND SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY DIMENSIONS, ELEVATIONS AND FIELD CONDITIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE BEGINNING WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL WORK SHALL COMPLY WITH APPLICABLE PORTIONS OF THE "BOCA BASIC NATIONAL BUILDING CODE/1990, 1992 ACCUMULATIVE SUPPLEMENT, AND THE STATE OF CT SUPPLEMENT OF LATEST ISSUE".
4. THE CONTRACTOR SHALL PROVIDE SHORING AND BRACING AS NECESSARY. RESPONSIBILITY FOR DESIGN AND ADEQUACY OF SHORING AND BRACING LIES SOLELY WITH THE CONTRACTOR.

EARTHWORK (REFER TO SITE SPECIFICATION, DIVISION 2).

1. FOOTING ELEVATIONS SHALL BE SET IN ACCORDANCE WITH INDICATIONS ON FOUNDATION PLANS, BUT IN NO CASE LESS THAN 1'-0" BELOW PRESENT GRADE AND LESS THAN 3'-6" BELOW FINAL GRADE. FOOTINGS SHALL BEAR ON EXISTING VIRGIN SOIL WITH A MINIMUM SAFE BEARING CAPACITY OF 4 KSF. NOTIFY ARCHITECT WHEN FOOTING AND SLAB EXCAVATIONS ARE COMPLETE FOR INSPECTION. ARCHITECT APPROVAL OF SUBGRADE IS REQUIRED BEFORE PLACING FILL OR CONCRETE.
2. SLAB-ON-GRADE AREAS: CUT OR FILL TO ELEVATION 6" BELOW BOTTOM OF CONCRETE SLAB. PROVIDE 6" COMPACTED GRAVEL BASE UNDER SLABS ON GRADE. IF GRADE IS MORE THAN 6" BELOW BOTTOM OF SLAB, PROVIDE STRUCTURAL FILL UP TO 6" BELOW BOTTOM OF SLAB.
3. DELAY BACKFILLING UNTIL FOUNDATION WALLS HAVE BEEN IN PLACE 28 DAYS AND LATERALLY SUPPORTING FLOOR SLABS AND WALLS HAVE BEEN IN PLACE 14 DAYS OR BRACE WALLS ADEQUATELY TO PREVENT MOVEMENT. BRACING SHALL REMAIN IN PLACE UNTIL ABOVE CONDITIONS ARE SATISFIED.
4. BACKFILL OUTSIDE BUILDINGS - PLACE AND COMPACT POROUS OFF-SITE WELL GRADED BANK RUN SAND AND/OR GRAVEL WITHIN 2 FT. MIN. OF FOUNDATION WALL AND SELECTED SITE RUN SAND AND/OR GRAVEL BEYOND.

CONCRETE (REFER TO CONCRETE SPECIFICATIONS, DIVISION 3).

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 318-89 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND (WHERE APPLICABLE) ACI 318.1-89 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE" AND TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS". CONCRETE DESIGN IS BASED ON ULTIMATE STRENGTH DESIGN METHOD IN ACCORDANCE WITH ACI 318.
2. CONCRETE: MINIMUM 28-DAY COMPRESSIVE STRENGTH:
   TYPICAL - 3000 PSI.
   EXTERIOR LANDINGS - 5000 PSI.
3. REINFORCING STEEL: TOLERANCES - ACI 301
   DEFORMED BILLET BARS - ASTM A 615 GRADE 60.
   MIN. LAP = 36 BAR DIA.
   WELDED WIRE FABRIC - ASTM A 185.
   MIN. LAP = 2 CROSS WIRE SPACES.
4. GROUT: PREMIXED NON-SHRINK TYPE UNDER BEARING PLATES. (REFER TO SPECIFICATION SECTION 03300).
5. SLAB CONSTRUCTION JOINTS SHALL BE LOCATED ONLY AS SHOWN OR NOTED ON THE DRAWINGS OR AS APPROVED BY THE ARCHITECT.
6. CONCRETE FINISHES: REFER TO ARCHITECTURAL FINISH SCHEDULE AND SPECIFICATION SECTION 03300.
7. THE CONTRACTOR SHALL INSTALL AND VERIFY THE LOCATION OF ALL ANCHORS, SLEEVES, ETC. THAT ARE REQUIRED BEFORE PLACING CONCRETE.
8. U.O.N. PROVIDE 1-#6 BAR, ALL FOUR SIDES OF WALL OPENINGS, EXTEND BAR 2'-0" MIN. BEYOND EACH SIDE OF OPENING.

MASONRY (REFER TO UNIT MASONRY SPECIFICATIONS, DIVISION 04000).

1. ALL REINFORCED MASONRY WORK SHALL CONFORM TO ACI 530-95 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
2. COMPRESSIVE STRENGTH OF MASONRY (F'M) SHALL BE DETERMINED BASED ON THE UNIT STRENGTH METHOD.
   REINF. CMU F'M = 1500 PSI MIN. AT 28 DAYS
   GROUT COMP. STRENGTH = 2000 PSI MIN. AT 28 DAYS
   MORTAR FOR CMU = TYPE S
   MORTAR FOR BRICK = TYPE N
   REINFORCEMENT = ASTM A615 GRADE 60
   MIN. LAP = 48 BAR DIA. (24" MIN.)

STRUCTURAL STEEL (REFER TO STRUCTURAL STEEL SPECIFICATION, SECT. 05120).

1. STRUCTURAL STEEL: ASTM A572
   ANGLES AND PLATES: ASTM A36
   STEEL TUBING: ASTM A500 GRADE B, FY = 46 KSI
2. WELDS: ELECTRODES - ASTM A233 E70 SERIES. 1/4" MIN. FILLET U.O.N.
   ANCHOR BOLTS: ASTM A307 - SIZE AS NOTED ON DRAWINGS.
   BOLTS: ASTM 325 3/4" MIN. DIAMETER WITH STANDARD NUTS AND WASHERS. SLIP-CRITICAL (SC) WHERE INDICATED.
3. DRILLED ADHESIVE ANCHORS: HILTI HY150/20 OR RAWL FOIL FAST SYSTEM.

STEEL JOISTS (REFER TO STEEL JOIST SPECIFICATION, SECT. 05210)

STRUCTURAL STEEL (CONTINUED)

4. ALL DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, LATEST EDITION.
5. CONNECTIONS SHALL BE CONSISTENT WITH "TYPE 2" CONSTRUCTION IN ACCORDANCE WITH AISC SPECIFICATIONS U.O.N. ON DRAWINGS. SHOP WELD AND FIELD BOLT U.O.N. CONNECTIONS SHALL DEVELOP THE FULL UNIFORM LOAD STRENGTH OF THE MEMBER UNLESS THE MEMBER REACTION IS NOTED ON PLAN IN KIPS 1 KIP = 1000 LBS. PROVIDE LINTELS FOR ALL NEW OPENINGS IN EXISTING MASONRY WALLS AND NEW MASONRY WALLS THROUGHOUT THE BUILDING WHETHER OR NOT SHOWN.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING OF STRUCTURAL STEEL FRAMING AND EXISTING CONSTRUCTION UNTIL ALL MEMBERS HAVE RECEIVED FINAL BOLTING OR WELDING AND CONCRETE HAS CURED AT LEAST 7 DAYS.
7. ANY HOLES TO BE PROVIDED IN STRUCTURAL STEEL FOR OTHER TRADES SHALL BE DONE ONLY WITH APPROVAL OF ARCHITECT. FIELD BURNING OF HOLES OR CUTS IN STRUCTURAL STEEL MEMBERS WILL NOT BE PERMITTED EXCEPT WITH THE SPECIFIC WRITTEN APPROVAL OF ARCHITECT. HOLES FOR BLOCKING OR ACCESSORIES SUPPORTED ON STEEL INDICATED ON DRAWING SHALL BE PUNCHED OR DRILLED FOR 1/2" DIAMETER BOLTS AT 2'-0" O.C. U.O.N.

METAL DECK: (REFER TO SPECIFICATION SECTIONS 05310 (FLOOR) AND 05320 (ROOF)

1. METAL ROOF DECK SHALL BE 1-1/2" DEEP, 22 GAUGE TYPE WR STEEL DECKING. MINIMUM PROPERTIES OF: I = 0.169 IN⁴/FT., SN = 0.213 IN³/FT., SP = 0.195 IN³/FT.
4. FASTEN ALL METAL DECK UNDER DRY CONDITIONS. DO NOT ATTEMPT TO WELD DECKING TO STEEL SUPPORTS WHEN MOISTURE LIES BETWEEN STEEL AND DECKING NOR WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES F. WELD DECK TO STEEL SUPPORTS AND PERIMETER WITH 1/2" DIAMETER PUDDLE WELDS @ 18" o.c. AND SCREW SIDE LAPS AT 36" O.C. MAX.

DESIGN LOAD CRITERIA

DESIGN DEAD LOADS		UNIFORM LOAD
ROOF:	BUR ON METAL DECK ON STEEL ONLY	25 PSF
WALLS:	METAL STUD/ GYP. BD./PANEL	12 PSF

DESIGN LIVE LOADS
ROOFS: SNOW 30 PSF MINIMUM UNIFORM SNOW, OR PF PLUS CODE DRIFT ALLOWANCES.
PF = Ce I Pg = 21 PSF. PG = 30 PSF. CE = 0.7.
I = 1.0

PRESUMED ALLOWABLE SOIL BEARING: 4,000 PSF

WIND: BASIC WIND SPEED: V= 80 MPH; EXPOSURE C
IMPORTANCE FACTOR: I= 1.02 FOR CATEGORY I
EFFECTIVE VELOCITY PRESSURE: PE = 20 PSF @ 0'-20' HT.
21 PSF @ 20'- 40' HT.

SEISMIC DATA:
SEISMIC BASE SHEAR: V = CSW = 0.072W, WHERE:
BUILDING WEIGHT = W = TOTAL LOAD OF THE STRUCTURE
SEISMIC COEFFICIENT = CSMAX = 2.5 AV/R = 0.072 (USED) OR
= 1.2 AVS/RT^2/3 = 0.087

PEAK VELOCITY ACCELERATION COEFF. = AV = 0.13
PEAK ACCELERATION COEFFICIENT = AA = 0.13
SEISMIC PERFORMANCE CATEGORY = C
SEISMIC HAZARD GROUP = I
SITE COEFFICIENT = S = 1.0
RESPONSE MODIFICATION FACTOR = R = 4.5
DEFLECTION AMPLIFICATION FACTOR = CD = 4
STRUCT. SYSTEM = RIGID FRAME OF STEEL
APPROX. FUNDAMENTAL PERIOD = TA = CTHN^3/4 = 0.253
HEIGHT OF BUILDING = 14 FEET (MEDIAN ROOF HT.)

STRUCTURAL SYSTEM COEFFICIENT = CT = 0.035
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE (CODE SECT. 1113.4)

BUILDING EAST-WEST LATERAL LOAD DESIGN CONTROLLED BY SEISMIC LOADING.
BUILDING NORTH-SOUTH LATERAL LOAD DESIGN CONTROLLED BY WIND LOADING.

ABBREVIATIONS

A.B.	Anchor Bolt
@	At
ARCH.	Architect or Architectural
BFE	Bottom of Footing Elevation
BLDG	Building
BOT.	Bottom
BUR	Built Up Roofing
BW	Both Ways
℄	Centerline
COL.	Column
COMP.	Compacted
CONC.	Concrete
CMU	Concrete Masonry Unit
CONN.	Connection
CONT.	Continuous
CJ	Control Joint
DET	Detail
DIA. or ⌀	Diameter
DIM.	Dimension
EA	Each
EL. or ELEV.	Elevation
FFE	Finished Floor Elevation
FND	Foundation
FTG	Footing
GA	Gage
GALV	Galvanized
LLH	Long Leg Horizontal
MAX	Maximum
MIN	Minimum
M.O.	Masonry Opening
NTS	Not To Scale
OC	On Center
℘	Plate
SIM	Similar
SOG	Slab on Grade
STL.	Steel
TYP.	Typical
UON	Unless Otherwise Noted
w/	With
WWF	Welded Wire Fabric

BOUNDS-KALBERER ENGINEERS

RELEASED FOR: BUILDING SHELL PERMIT APPROVAL

LAST CADD UPDATE: 4.2.99

ACTION	DATE	BY	RELEASED FOR:
P	4/26/99	RKS	SHELL PERMIT APPROVAL

NEW YOUTH GROUP ASSEMBLY BUILDING FOR
EAST WINDSOR SCOUT HALL
BUILDING COMMITTEE
ABBE ROAD
EAST WINDSOR, CONNECTICUT

ROOF FRAMING PLAN AND STEEL DETAILS

COMMERCIAL & INDUSTRIAL DESIGN ASSOCIATES, LLC
ARCHITECTURE / PLANNING
CONSTRUCTION MANAGEMENT
41-C NEW LONDON TURNPIKE
GLASTONBURY, CT 06033
Ph. (860) 657-3442 Fax (860) 657-3484

NORTH

SCALE: 1/8" = 1'-0"
DATE: 3.24.99
DRAWN BY: PCH
FILE: 1052DCF

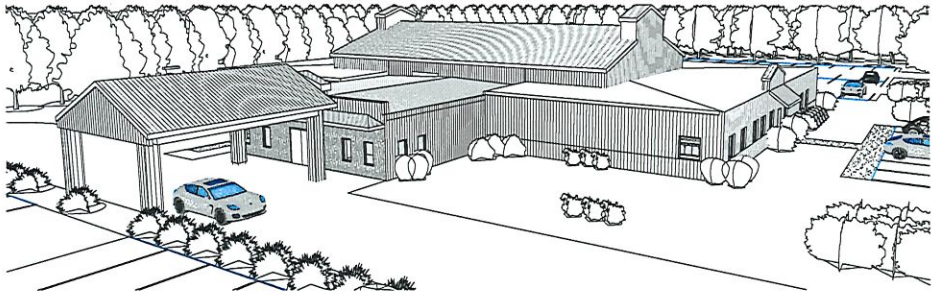
S2.0

BKE 169-04

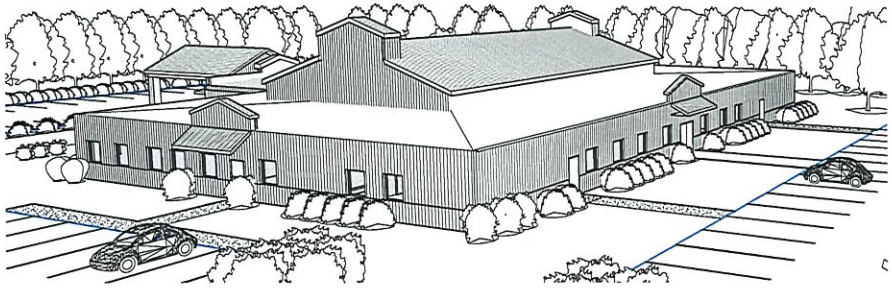
EAST WINDSOR COMMUNITY CENTER

Alterations & Additions
Former Scout Hall Youth Center

28 Abbe Road
East Windsor, CT 06088



② Front View



① Rear View

ISSUE DATE: September 20, 2022

DRAWING LIST

CURENT REVISION NO	SHEET NO	SHEET NAME	CURRENT REVISION DATE	ISSUE DATE
	G0	TITLE SHEET		
	G1	GENERAL INFORMATION		
	G2	CODE SHEET AND EGRESS PLANS		
	C1	EXISTING CONDITIONS & DEMOLITION PLANS		
	C2	SITE PLAN		
	C3	DETAIL SHEET		
	AD1	DEMOLITION PLAN		
	A1	GROUND FLOOR PLAN		
	A2	BASEMENT & ENLARGED RM PLANS & FINISH SCHEDULE		
	A3	REFLECTED CEILING PLANS		
	A4	ROOF PLAN		
	A5	STAIR PLANS & SECTIONS		
	A6	EXTERIOR ELEVATIONS		
	A7	BUILDING & WALL SECTIONS & DETAILS		
	A8	SECTIONS THRU PORTE COCHERE & STAIR		
	A9	INTERIOR ELEVATIONS		
	A10	DOOR SCHEDULE & DETAILS		
	S1	GENERAL NOTES & DESIGN CRITERIA & TYPICAL DETAILS		
	S2	FOUNDATION AND GROUND LEVEL FRAMING PLAN		
	S3	ROOF FRAMING PLAN		
	S4	FOUNDATION SECTIONS		
	S4.1	FOUNDATION SECTIONS		
	S5	PIER TYPES & TYPICAL CONCRETE DETAILS		
	S6	TYPICAL STEEL DETAILS		
	S7	SECTION DETAILS		
	S8	SECTION DETAILS		
	S9	ELEVATIONS		
	S10	ELEVATIONS		
	S11	COLD FORMED METAL FRAMING DETAILS		
	FP1	FLOOR PLAN FIRE & PLUMBING		
	FP2	FLOOR PLAN FIRE & PLUMBING		
	FP3	SPRINKLER LAYOUT FIRE & PLUMBING		
	FP4	DETAILS FIRE & PLUMBING		
	FP5	FIRE & PLUMBING SPECIFICATIONS		
	M4	MECHANICAL SCHEDULES		
	M1	MECHANICAL BASEMENT & FLOOR PLAN		
	M2	MECHANICALALTERNATE ASSEMBLY ROOF PLAN		
	M3	MECHANICAL ROOF PLAN		
	E1	ELECTRCIAL BASEMENT PLAN		
	E2	ELECTRICAL LIGHTING FLOOR PLAN		
	E3	ELECTRICAL POWER FLOOR PLAN		
	E4	ELECTRCIAL ROOF PLAN		
	E5	ELECTRICAL DETAILS		
	E6	ELECTRCIAL POWER RISER		

PVE-LLC
STRUCTURAL ENGINEERS
100 Wells Street, Suite 2K
Hartford, CT 06103
860- 522-3970

JR RUSSO & ASSOCIATES
Civil Engineers & Land Surveyors
One Shoham Road
East Windsor, CT 06088
860-623-0569

ACORN
Consulting Engineers, Inc.
P.O. Box 311
Farms Village Plaza
244 Farms Village Road
West Simsbury, CT 06092
860-651-1949

STEPHEN JAGER
Associates, LLC
Consulting Architect
4 Grand View Drive
Enfield, CT 06082
860-803-1265
sjsl@aol.com

ABBREVIATIONS

39	CODE 39 CALL BUTTON	N.	NORTH
ABV.	ABOVE	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR	N.T.S.	NOT TO SCALE
A.F.R.	ABOVE FINISH ROOF	N.A.	NOT APPLICABLE
A.P.	ACCESS PANEL	NO. OR #	NUMBER
A.B.	ALUMINUM BASE	NOM.	NOMINAL
A.F.	AWNING FRAME		
AC.	ACOUSTICAL, ACOUSTICAL	OA.	OVERALL
ACTD.	ACOUSTICAL BOARD	OBSCRV.	OBSERVATION
ACT	ACOUSTICAL TILE	O.D.	OUTSIDE DIAMETER
ADD.	ADDITIONAL	O.H.	OPPOSITE HAND
ADJ.	ADJUSTABLE	OPT.	OPTIONAL
ALT.	ALTERNATE	OPNG.	OPENING
ALUM.	ALUMINUM	OPP.	OPPOSITE
APPROX.	APPROXIMATE		
ARCH.	ARCHITECTURAL	PL.	PROPERTY LINE
		PLAM.	PLASTIC LAMINATE
B.M.	BENCHMARK	PH.	PENTHOUSE
BD.	BOARD	PLAS.	PLASTER
BLDG.	BUILDING	PLYWD.	PLYWOOD
BLK.	BLOCK	PNL.	PANEL
BLKG.	BLOCKING	PREFAB.	PREFABRICATED
BM.	BEAM	PROD.	PRODUCTION
BD.	BY OWNER	PROP.	PROPERTY
BOT.	BOTTOM	PRTN.	PARTITION
BRK.	BRICK	PTD.	PAINTED
BUR	BUILT-UP ROOF		
C. TO C.	CENTER TO CENTER	QTR.	QUARTER
CP.	CHALKBOARD	QTY.	QUANTITY
C.J.	CONTROL JOINT		
C.L. OR ℄	CENTERLINE	R.C.P.	REFLECTED CEILING PLAN
CBL.	CONCRETE MASONRY UNIT	REINF.	REINFORCED
CABL.	CABINET	RD.	ROOF DRAIN
CER.	CERAMIC	R.L.	RAIN LEADER
CFMF	COLD FORMED METAL FRAMING	R.O.	ROUGH OPENING
COL.	COLUMN	RLS.	RULERS
CLG.	CEILING	RTG.	RETAINING
CLKT.	CLOSET	REV.	REVISION OR REVISED
CNTR.	COUNTER	REQD.	REQUIRED
COL.	COLUMN	REQUIS.	REQUISITE
COMM.	COMMUNICATIONS	RESILIENT	RESILIENT
CONC.	CONCRETE	RGH.	ROUGH
CONF.	CONFERENCE	RUBB.	RUBBER
CONN.	CONNECTION	RFG.	REFUSION
CONST.	CONSTRUCTION	RM.	ROOM
CONT.	CONTINUOUS, CONTINUE		
CONTR.	CONTRACTOR		
CORR.	CORRIDOR	S.	SOUTH
CPT.	CARPET	S.B.	SHEET BARRIER
CTR.	CENTER	S.S.	STAINLESS STEEL
CUST.	CUSTOMER	S.F.	SQUARE FEET
		SCHED.	SCHEDULED
DBL.	DOUBLE OCCUPANCY	SECT.	SECTION
DEPT.	DEPARTMENT	SH.MT.	SHEET METAL
DET.	DETAIL	SHWR.	SHOWER
DIA.	DIAMETER	SIM.	SIMILAR
DIL.	DOWN	SK.	SKETCH
DISPT.	DISPENSER	SPEC.	SPECIFICATIONS
DR.	DOOR	ST.	STREET
DWG.	DRAWING	STD.	STANDARD
		STL.	STEEL
E.	EAST	STG.	STORAGE OR STORAGE CABINET
EA.	EACH	STRCT.	STRUCTURAL
EDUC.	EDUCATION	SUPP.	SUPPORT
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SUSP.	SUSPENDED, SUSPENSION
EL.	ELEVATION		
ELEC.	ELECTRIC	T.O.W.	TOP OF WALL
ELEV.	ELEVATOR	TEL.	TELEPHONE
ENCL.	ENCLOSURE	THK.	THICKNESS
ENT.	ENTRANCE	T.T.	TOILET TISSUE
EQ.	EQUAL	TYP.	TYPICAL
EQUIP.	EQUIPMENT		
EXISTING	EXISTING	U.N.O.	UNLESS NOTED OTHERWISE
E.J.	EXPANSION JOINT	U.L.	UNDERWRITERS LABORATORY
EXP. JT.	EXPANSION JOINT	V.C.T.	VINYL COMPOSITION TILE
EXT.	EXTERIOR	VIF	VERIFY IN FIELD
		V.W.C.	VINYL WALL COVERING
F.E.	FIRE EXTINGUISHER	VGR.	VAPOR BARRIER
F.E.C.	FIRE EXTINGUISHER CABINET		
F.H.C.	FIRE HOSE CABINET	W.	WITH
F.D.P.	FIRE STANDPIPE	WD.	WOOD
F.D.	FLOOR DRAIN		
FDN.	FOUNDATION		
FIN.	FINISH, FINISHED		
FIX.	FIXTURE		
FL.	FLOOR		
FLUOR.	FLUORESCENT		
FT. OR '	FEET OR FOOT		
FTG.	FOOTING		
FURR.	FURRING		
FUT.	FUTURE		
FVC	FIRE VALVE CABINET		
G.C.	GENERAL CONTRACTOR		
GA.	GAGE		
GALV.	GALVANIZED		
GEN.	GENERAL		
GL.	GLASS, GLAZE		
GR.	GRADE		
GWB	GYPSUM WALLBOARD		
GYP.	GYPSUM		
GYP. BD.	GYPSUM BOARD		
HC	HANDICAP, HANDICAPPED		
HM	HOLLOW METAL		
HDWR.	HARDWARE		
HT.	HEIGHT		
HORIZ.	HORIZONTAL, HORIZONTALLY		
HVAC	HEATING VENTILATING AIR CONDITIONING		
IN. OR "	INCH OR INCHES		
INCL.	INCLUSIVE, INCLUDE, INCLUDING		
LP.	LOW POINT		
LAB.	LABORATORY		
LAM.	LAMINATED		
LAV.	LAVATORY		
L.F.	LINEAR FEET		
LOC.	LOCATE		
LOC.	LOCATION		
LT.	LIGHT		
LTWT.	LIGHTWEIGHT		
M.O.	MASONRY OPENING		
MACH.	MACHINE, MACHINE		
MAS.	MASONRY		
MAX.	MAXIMUM		
MATL.	MATERIAL		
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MLDG.	MOULDING		
MTL.	MOUNTED		

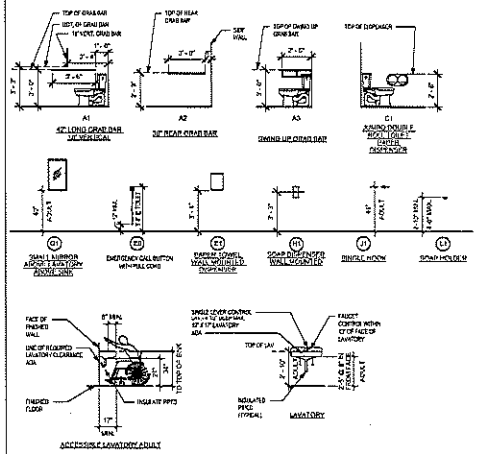
SYMBOLS

- NEW COLUMN CONTOUNE AND NUMBER
- EXISTING COLUMN CONTOUNE AND NUMBER
- ROOM NUMBER 101
- DOOR NUMBER 100
- WALL SECTION NUMBER DRAWING NUMBER
- DETAIL LETTER DRAWING NUMBER
- BUILDING SECTION DRAWING NUMBER
- WINDOW DIN TYPE (REFER TO DRAWING CONTRACTOR)
- DATUM BULLETIN NO. & DRAWING NUMBER
- INTERIOR ELEVATION, SEE DRAWINGS DENOTED ABOVE
- DEMOLISH ITEM
- NUMBERED KEY PLAN NOTES
- REFERENCE ELEVATION
- ELEVATION
- ACCESSORIES
- CEILING KEY NOTES
- PARTITION & WALL TYPES REFER TO DRAWING G101
- REVISION NUMBER
- F.E.R FIRE EXTINGUISHER CABINET (RECESSED)
- F.E.S FIRE EXTINGUISHER CABINET (SURFACE)
- F.E. FIRE EXTINGUISHER
- F.B. FIRE BLANKET
- SIGNAGE LOCATION AND TYPE
- EXISTING DOOR
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- EXISTING WALLS & PARTITIONS TO REMAIN
- EXISTING CONCT. TO BE REMOVED
- NEW WALLS AND PARTITIONS

MATERIALS LEGEND

- EARTH
- TOPSOIL FILL
- STRUCTURAL CONCRETE
- LIGHTWEIGHT CONCRETE
- BRICK
- CONCRETE MASONRY UNIT
- FIELDSTONE
- METAL
- ROUGH WOOD
- FINISH WOOD
- PLYWOOD
- GLUE LAMINATED SECTIONS
- BOARD INSULATION
- BATT INSULATION
- SPRAYED FIREPROOFING
- GYPSUM WALLBOARD

FIXTURE & EQUIPMENT MOUNTING HEIGHTS



1 TYPICAL ADA MOUNTING HEIGHTS
NTS

NOTE: ALL DIMENSIONS INDICATED ARE TO FACE OF FINISH MATERIAL

NOTE:
FURNISH AND INSTALL BLOCKING IN WALLS

GENERAL NOTES

1. CONTRACTOR CONTRACTORS RESPONSIBLE FOR THOROUGHLY REVIEWING ALL OF THE CONSTRUCTION DOCUMENTS TO COORDINATE THEIR WORK WITH OTHER TRADE CONTRACTORS.
2. ALL CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND.
3. THE LOCATION OF ALL TRAILERS, STORAGE STRUCTURES, LAY DOWN AREAS AND OTHER TEMPORARY SITE FACILITIES SHALL BE APPROVED BY THE OWNER AND ARCHITECT.
4. REAL HEAT OPENINGS AROUND PIPE, CONDUIT, DUCTS, ETC. WITH FIRESTOPPING SAGE RESISTANT THOUGH CONSUSTIBLE MATERIALS IN ACCORDANCE WITH WALL SECTIONS, PARTITION AND FLOOR DETAILS.
5. REFER TO PLUMBING, MECHANICAL, HVAC, FIRE PROTECTION AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR LOCATIONS OF ALL EQUIPMENT, COORDINATE LOCATIONS AND ACCESS WITH APPROVED PROVIDED EQUIPMENT.
6. CLOSOMAT/PRIVER RECESSED HEATER IN DRYWALL CONSTRUCTION HOUSE NOT IN CONTRACT. ALL EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR.
7. CONTRACTOR SHALL COORDINATE ADJACENCIES OF ALL NEW/REUSED WORK CERTAIN OPEN AREA AND OFFICE AREA CIRCULATION AREAS WITH OWNER.
8. CONTRACTOR SHALL COORDINATE CONTAINMENT PROCEDURES OF ALL REQUIRED WORK OUTSIDE OF EXCEPT AREA AND GENERAL CIRCULATION AREAS WITH OWNER.
9. ANY PENETRATIONS THROUGH EXISTING WALLS OR NEW CONSTRUCTION SHALL BE HIGHLY SEALED TO MEET THE FIRE RATINGS LISTED IN THE CODE DATA.

OWNER NOTES

1. OWNER WILL SUPPLY AND INSTALL SECURITY CAMERAS AND EQUIPMENT.
2. OWNER SHALL SUPPLY AND INSTALL NEW ROBINJICE ROOM REFRIGERATOR.
3. OWNER SHALL SUPPLY AND INSTALL ALL WALL MOUNTED TVS.
4. OWNER SHALL FURNISH AND INSTALL FURNITURE AND EQUIPMENT.

ADD ALTERNATES

JAGER

4 Grand View Drive Enfield, CT 06082
860-623-1205 ejag@aol.com

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All products, fixtures, and equipment shall be installed in accordance with manufacturers' installation instructions and all applicable codes.

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The Contractor shall be responsible for construction means, methods, techniques, sequences, and safety precautions in connection with the work.

PROJECT NAME:
Alterations & Additions
East Windsor Community Center

PROJECT ADDRESS:
28 Abbe Road
East Windsor, CT 06088

PROJ NO:
2021.33

ISSUE DATE:
9/20/2022

REVISION DATE:

DRAWING
GENERAL INFORMATION

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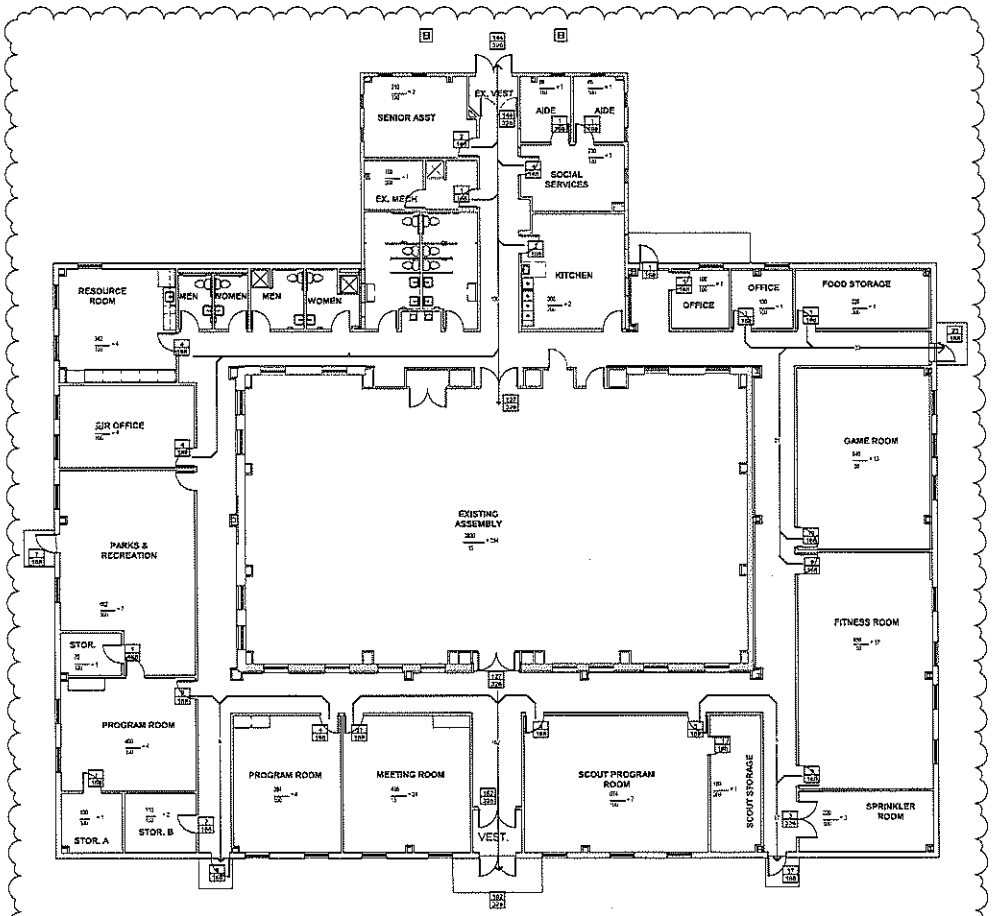

GROUND FLOOR EGRESS PLAN

SCALE 3/32" = 1'-0"

CODES USED

CT 2021 EDITIONS USED the following codes:

2021 International Building Code (IBC) for ECC
2021 International Existing Building Code (IEBC) for ECC
2021 International Energy Conservation Code of CT (IECC) by ECC
2021 International Mechanical Code (IMC) by ECC
2021 International Plumbing Code (IPC) for ECC
2020 NFPA 70 National Electrical Code (NEC) by NFPA
2017 ICC A117.1 Accessible and Usable Buildings and Facilities by ECC
2021 International Fire Code (IFC) by ECC
2021 NFPA 101 - Life Safety Code by the NFPA
2021 NFPA 1 - Fire Code by the NFPA

CODE INFORMATION

1. USE GROUP CLASSIFICATION (CHAPTER 3)

PRIMARY USE GROUP AREA(S) = A3
SECONDARY USE GROUP (BUSINESS) = B

NON-SEPARATED USE:

2. CONSTRUCTION TYPE (CHAPTER 6)

CONSTRUCTION TYPE: TO BE INSPECTED
NEW ONE STORY ADDITION AT BASEMENT

BUILDING IS SPRINKLERED

3. BUILDING AREA (CHAPTER 5)

FRONTAGE INCREASE: If = P / P - 25) / 30

P = 450 ft
P = 450 ft
W = 25 ft

FRONTAGE INCREASE: ((450 / 450 - 0.25) / 0.30) = If = 0%

SPRINKLER INCREASE: Is = 200%

ALLOWABLE BUILDING AREA TABLE 506.2

ALLOWABLE ASSEMBLY = A2: Aa = At + (At x If)

(28,000 + (28,000 x 0% = 28,000 SQF
(28,000 + 0 x 200% = 28,000 SQF
Aa = 56,000 SQF

ALLOWABLE BUILDING AREA TABLE 506.2

ALLOWABLE BUSINESS: Ab = At + (At x If)

(50,000 + (50,000 x 0% = 50,000 SQF
(50,000 + 0 x 200% = 100,000 SQF
Ab = 100,000 SQF

11,000 / 100,000 = 2,400 / 43,000 = .10 + .06 = .15 < 1.0 OK

4. BUILDING HEIGHT (CHAPTER 5)

ALLOWABLE HEIGHT (TEST) — 2 STORIES
(STORY + FEET) — ACTUAL HEIGHT 1 STORY / 30 FT.

5. MEANS OF EGRESS (CHAPTER 10)

OCCUPANT LOAD (FROM FURNISHING PLAN)

ASSEMBLY A3	153	3 SQ FT/P =	204
BUSINESS B	1160	11,200 SQ FT / 100 =	112

OCCUPANT DESIGN LOAD: 307

REQUIRED NUMBER OF EXITS

		REQUIRED	PROVIDED
ASSEMBLY A3	204 / 500 = 2		3
BUSINESS B	112 / 500 = 2		4
TOTAL NO. EXITS PROVIDED			4

EXIT CAPACITY 36" W. DOOR = 148 DOOR
TOTAL EXIT CAPACITY 36" W. DOOR = 4 DOORS = 148 = 1,184 OCCUPANTS

6. ACCESSIBILITY (CHAPTER 11)

ACCESSIBILITY: BUILDING IS ACCESSIBLE

7. PLUMBING FIXTURES (CHAPTER 29)

PLUMBING FIXTURE COUNT

	WATER CLOSET MEN	WATER CLOSET WOMEN	LAVATORY MEN	LAVATORY WOMEN	DF	SS
ASSEMBLY A3	1/125	1/60	1/200	1/100	1/100	1
BUSINESS B	6/25	1/25	1/40	1/40		

REQUIRED PLUMBING FIXTURES

USE	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
ASSEMBLY A3				
M 153/100 =	2	M 153/200 =	2	
W 153/60 =	2	W 153/100 =	2	
BUSINESS B				
M 6/25	3	M 6/40 =	2	
W 6/25	3	W 6/40 =	2	
TOTAL REQUIRED MEN	4		1	1
TOTAL PROVIDED MEN	4		1	1

8. TRAVEL DISTANCE (CHAPTER 10)

MAXIMUM TRAVEL DISTANCE FOR EACH USE GROUP

ASSEMBLY A3: 250 FT WITH SPRINKLERS
BUSINESS B: 300 FT WITH SPRINKLERS

TEST COMMON PATH OF TRAVEL

DOOR OCCUPANT LOAD

28 — OCCUPANT LOAD
250 — DOOR CAPACITY

ROOM OCCUPANT LOAD

ROOM AREA
50 / 100 — OCCUPANT LOAD
50 — SQ. FT. / OCCUPANT

FIRE RESISTANCE RATING OF BUILDING ELEMENTS

BUILDING ELEMENT (TABLE 601, 602 IBC)	RATING HOURS
PRIMARY STRUCTURAL FRAME	0
EXTERIOR LOAD-BEARING WALLS (TABLE 601 SEPARATION DISTANCE, DHS ATLR THEN 30 ft.)	0
INTERIOR LOAD-BEARING WALLS	N/A
EXTERIOR NON-LOAD-BEARING WALLS (TABLE 602 SEPARATION DISTANCE, DHS ATLR THEN 30 ft.)	N/A
NON-BEARING WALLS AND PARTITIONS	0
STRUCTURAL FRAME AS SUPPORTED WALLS	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
FIRE WALLS - BUILDING SEPARATION (TABLE 706.4 TO 10)	N/A
FIRE BARRIERS (601 IBC)	NO SEPARATION
FIRE ENCLOSURES OF EXITS (1023.7)	N/A
CORRIDORS (TABLE 1020.1)	N/A
SHAFTS & ELEVATOR HOISTWAYS (1103.2.4 STORY)	N/A

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4 Grand View Drive Enfield, CT 06082
860-623-1705 rjag@aol.com

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9/20/2022

REVISION DATE:
1 11-8-23 Revise interior walls & interior doors
Revise occupancy count, egress plan, doors

DRAWING
CODE SHEET AND EGRESS PLANS

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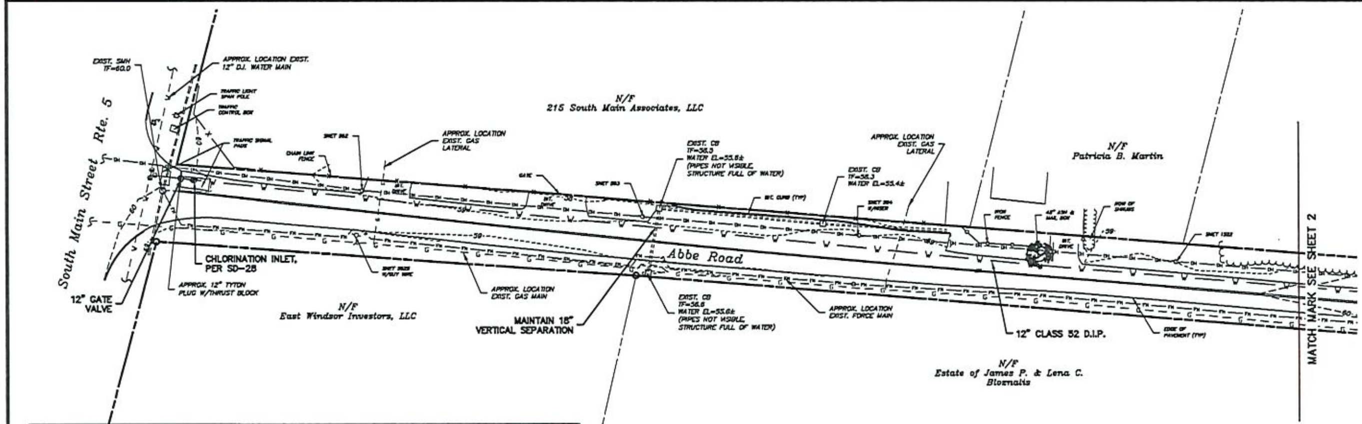

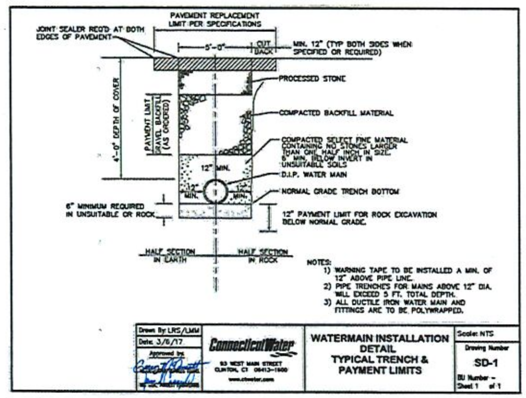

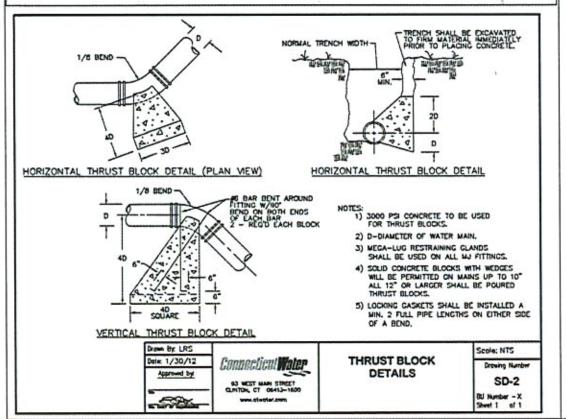

WATER MAIN INSTALLATION NOTES:

1. PROJECT MUST BE BUILT TO CT WATER COMPANY SPECIFICATIONS.

2. CLASS 52 DUCTILE IRON PIPE REQUIRED.

3. COPPER AND/OR DUCTILE IRON SERVICE LATERAL MATERIAL REQUIRED.

4. GATE VALVES OPEN LEFT.

5. FIRE HYDRANTS OPEN LEFT, 5.5' BURY DEPTH. CWC WILL FURNISH MATERIALS INCLUDING TEE, VALVE, PIPE, HYDRANT AND ACCESSORIES. FIRE HYDRANTS TO BE INSTALLED WITH FACE OF HYDRANT 3-FEET OFF FACE OF CURB. HYDRANTS ARE NOT TO BE INSTALLED IN SIDEWALKS. WHERE 3-FEET CANNOT BE OBTAINED, INSTALL HYDRANT BEHIND SIDEWALK UNLESS OTHERWISE NOTED OR AS DIRECTED BY A CT WATER COMPANY PROJECT MANAGER. 10-FEET HORIZONTAL SEPARATION REQUIRED BETWEEN HYDRANTS, SEWER MANHOLES AND STORM DRAINS. ***FIRE HYDRANTS ARE TO BE INSTALLED WITH FINISH GRADE AT THE BURY LINE CAST INTO THE LOWER BARREL. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENTS OF WATER MAIN AND LATERAL ELEVATION TO ACHIEVE PROPER BURY DEPTH. ANY COSTS RELATED TO ADJUSTMENTS REQUIRED BY CT WATER COMPANY WILL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR AND/OR APPLICANT OF RECORD.

6. ALL WATER MAIN PIPING AND APPURTENANCES MUST BE POLYETHYLENE ENCASED IN ACCORDANCE WITH AWWA ANSI-AWWA C105/A21.5-99(10). POLYETHYLENE ENCASEMENT SHALL BE V-BIO ENHANCED POLYETHYLENE ENCASEMENT STYLE ONLY AND CONSIST OF THREE (3) CO-EXTRUDED LAYERS OF LINEAR LOW-DENSITY POLYETHYLENE (LLDPE) FILM THAT ARE FUSED INTO ONE.

7. MEGALUG RESTRAINTS REQUIRED ON ALL FITTINGS, BENDS, OFFSETS, TEES, GATE VALVES AND HYDRANTS.

8. FIELD LOK (U.S. PIPE) OR SURE STOP 350 (MCWANE) RESTRAINING GASKETS ARE REQUIRED 2 PIPE JOINTS BEFORE AND AFTER EACH FITTING AND ON THE LAST 3 PIPE LENGTHS ON DEAD ENDS.

9. THRUST BLOCKING IS REQUIRED ON ALL BENDS, TEES, OFFSETS, HYDRANTS AND DEAD ENDS.

10. ALL WATER MAINS SHALL BE INSTALLED TO A DEPTH OF 4-FEET OF COVER BASED ON THE ROADWAY GRADE, EXCEPT AS NOTED.

11. 3-FT MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN WATER AND ANY OTHER UTILITY/UNDERGROUND STRUCTURE. 10-FT MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN WATER AND SEWER/SEPTIC ("SEWER") SEWER MUST BE SLEEVED WHERE WATER CROSSES SEWER IF WATER IS BELOW AND/OR WHEN 18" VERTICAL SEPARATION CANNOT BE ACHIEVED WHEN WATER IS ABOVE. 4-FEET MINIMUM HORIZONTAL SEPARATION REQUIRED BETWEEN WATER MAIN AND DRAINAGE WHEN AT LIKE ELEVATIONS.

12. WATER MAINS TO BE DEFLECTED UNDER ALL STORM DRAINS UNLESS OTHERWISE NOTED OR AS DIRECTED BY A CT WATER COMPANY PROJECT MANAGER. A VERTICAL CLEARANCE OF 18" TO BE MAINTAINED BETWEEN STORM DRAIN AND WATER MAINS. THE CONTRACTOR IS RESPONSIBLE FOR PROPER COMPACTION AROUND AND UNDER EXISTING DRAINAGE FACILITIES WHICH MAY INCLUDE REMOVAL AND RESETTING TO PROPER GRADE.

13. ANGLE OF BENDS TO BE FIELD DETERMINED.

14. MAXIMUM ALLOWABLE DEFLECTION PER FULL LENGTH PUSH-ON JOINT FOR 4" TO 12" IS FIVE (5) DEGREES AND THREE (3) DEGREES FOR 14" AND GREATER DUCTILE IRON PIPE.

15. EXISTING SERVICES TO SITE THAT WILL NO LONGER BE USED MUST BE TERMINATED AT THE WATER MAIN BY EXPOSING AND SHUTTING OFF THE CORPORATION VALVE. THE LINE MUST BE SEVERED IMMEDIATELY AFTER THE CORPORATION VALVE. SAID SERVICES MUST BE SHOWN ON PLANS.

16. WHERE A WATER SUPPLY WELL FOR ANY PURPOSE EXISTS OR IS APPROVED WITHIN THE LIMITS OF THIS PROJECT, ALL SERVICE LINES CONNECTED TO THE PUBLIC WATER SUPPLY REQUIRE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (RPD), AND MUST MEET THE REQUIREMENTS OF SEC. 19A-209A OF THE CONNECTICUT GENERAL STATUES ("CGS"), AND SEC 19-13-B38A OF THE PUBLIC HEALTH CODE.

17. WHERE AN AIR RELIEF IS REQUIRED, CWC WILL PERFORM TAP AND INSTALL WHILE THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION AND RESTORATION UNLESS OTHERWISE NOTED. LABOR AND MATERIALS FOR THE INSTALLATION(S) WILL BE CHARGED TO THE PROJECT.

18. WHEN THE INSTALLATION OF UNDERGROUND INFRASTRUCTURE DEVIATES FROM THE CT WATER COMPANY APPROVED PLAN(S), THE APPLICANT, AT HIS/HER COST, WILL BE HELD LIABLE FOR THE RELOCATION OF INFRASTRUCTURE AS REQUIRED TO THE SATISFACTION OF THE CT WATER COMPANY. FAILURE TO CORRECT ANY DEVIATION DEEMED UNACCEPTABLE TO THE CT WATER COMPANY WILL RESULT IN LITIGATION.

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

Reference Maps:

1. "Property To Be Acquired By Windsor Show Stables, Inc. Abbe Road East Windsor, Connecticut Scale: 1"=100' Date: 9-9-94 Rev. 9-15-94" Class A-2 by J.R. Russo & Associates

2. "Connecticut State Highway Department Right of Way Map Town of East Windsor Hartford-Springfield Road-East Side From The South Windsor Town Line Northerly About 8,100.0 Feet U.S. 5 Scale: 1"=40' Date: April 30, 1930"

3. "Subdivision Plan Property Owned By Joyce C. & Donald E. Stanton South Main Street & Abbe Road East Windsor, Connecticut Zone B-2 Scale: 1"=40 Date: September 25, 2000 Rev. 11-07-00" Class A-2 by Henry C. Cotton & Associates

4. "Property of 215 South Main Associates Limited Partnership 215 South Main Street Town of East Windsor Scale: 1"=50' Date: Oct 5, 1988 Rev. Nov. 11, 1988" by Malcolm S. Hinckley, L.S.

5. "Agricultural Land Division Plan Prepared For WSS Properties, LLC Abbe Road, East Windsor, Connecticut Map 022 Block 22 Lot 050 Scale: 1"=50' Date: September 8, 2014

Notes:

1. Horizontal datum based on Reference Map #1. Elevations based on N.A.V.D. 1988 Datum.

2. All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".

LEGEND

EXISTING UTILITY HANDHOLE
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING OVERHEAD WIRES
EXISTING UNDERGROUND UTILITIES
EXISTING UNDERGROUND ELECTRIC
EXISTING WATER GATE
EXISTING HYDRANT
PROPOSED HYDRANT
EXISTING WATER LINE
PROPOSED WATER LINE
EXISTING GAS GATE
EXISTING GAS LINE
EXISTING CATCH BASIN
EXISTING DRAINAGE MANHOLE
EXISTING STORM SEWER
EXISTING SANITARY MANHOLE
EXISTING SANITARY FORCE MAIN
EXISTING SANITARY SEWER
EXISTING SANITARY LATERAL
EXISTING SIGN
EXISTING IRON PIN (FOUND)
EXISTING MONUMENT (FOUND)
EXISTING SPOT GRADE
PROPOSED SPOT GRADE
EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING TREELINE

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

RUSSO SURVEYORS·ENGINEERS SERVING CT & MA
JR Russo & Associates, LLC
1 Shoham Road East Windsor CT 06088 • CT 860.623.0569 • MA 413.785.1158
www.jrrusso.com • info@jrrusso.com

ConnecticutWater
APPROVED
BY: S. MILES
05/17/2023

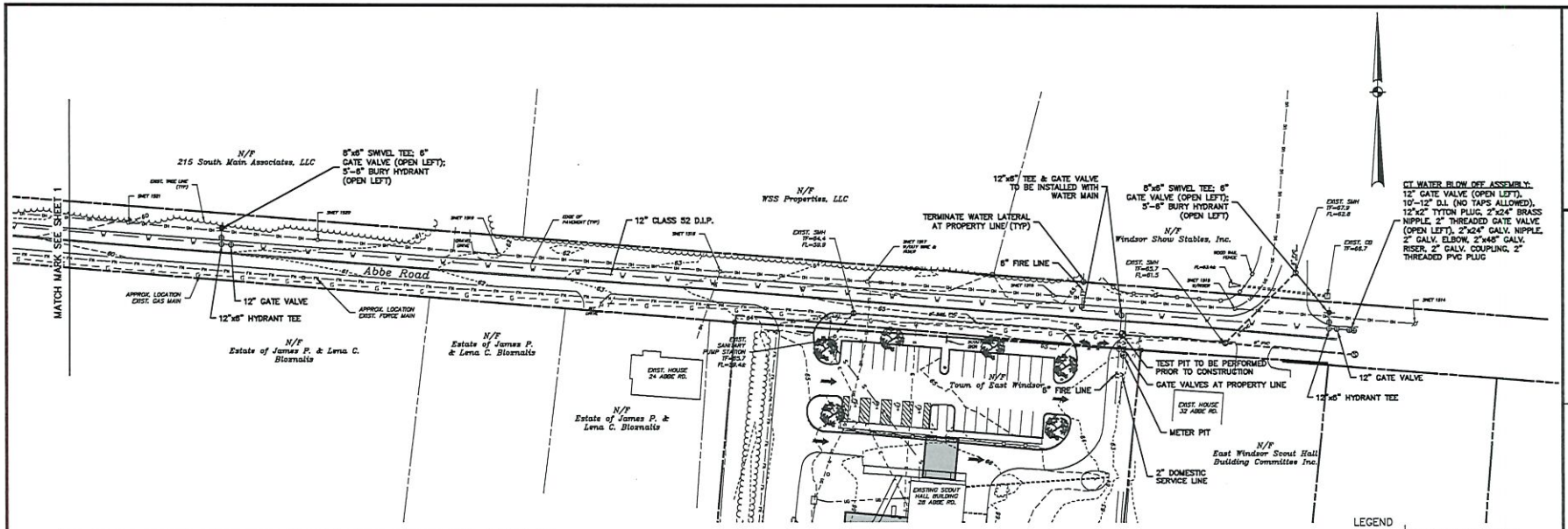
REVISIONS
BY: LF/TAC CHK: JEU

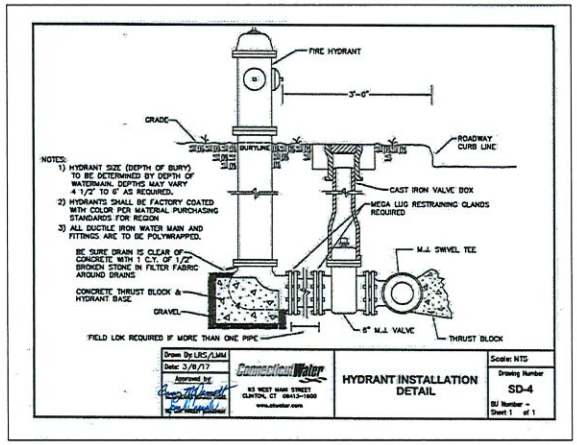
Prepared For
Town of East Windsor Public Works
Abbe Road
East Windsor, Connecticut

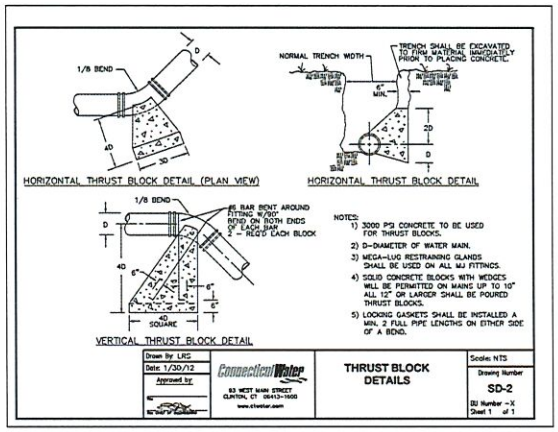
Water Main Plan

DATE 3-30-23
SCALE 1"=40'
JOB NUMBER 2022-064
SHEET 1 of 3

S:\Acad\2022 Civil 3D\2022-064 EW - Abbe Road\Russo Drawings\2022-064.dwg 1:1







LEGEND

	EXISTING UTILITY HANDHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
OH	EXISTING OVERHEAD WIRES
UG	EXISTING UNDERGROUND UTILITIES
E	EXISTING UNDERGROUND ELECTRIC
	EXISTING WATER GATE
	EXISTING HYDRANT
	PROPOSED HYDRANT
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
	EXISTING GAS GATE
G	EXISTING GAS LINE
	EXISTING CATCH BASIN
	EXISTING DRAINAGE MANHOLE
	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
FM	EXISTING SANITARY FORCE MAIN
	EXISTING SANITARY SEWER
S	EXISTING SANITARY LATERAL
	EXISTING SIGN
	EXISTING IRON PIN (FOUND)
1.25x5	EXISTING MONUMENT (FOUND)
135.5	EXISTING SPOT GRADE
135.5	PROPOSED SPOT GRADE
130	EXISTING CONTOUR
130	PROPOSED CONTOUR
	EXISTING TREELINE

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies – "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

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RUSSO SURVEYORS ENGINEERS SERVICE CT & MA

J.R. Russo & Associates, LLC
19 Jackson Hill Road / Windsor CT 06095 • CT 860.623.7765 • MA 413.788.5124
www.russosurveyors@gmail.com

REVISIONS

BY: LF/TAC | CHK: JEU

Prepared For
Town of East Windsor Public Works
Abbe Road
East Windsor, Connecticut

Water Main Plan

DATE: 3-30-23
SCALE: 1"=40'
JOB NUMBER: 2022-064
SHEET: 2 of 3

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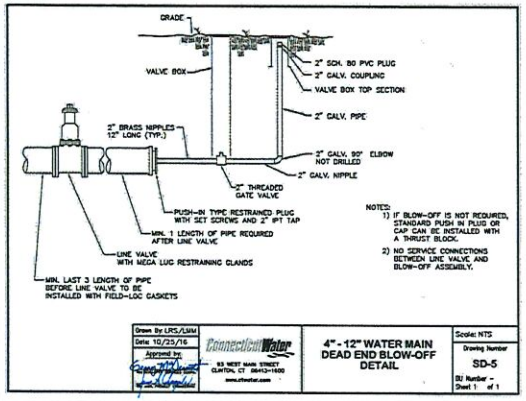

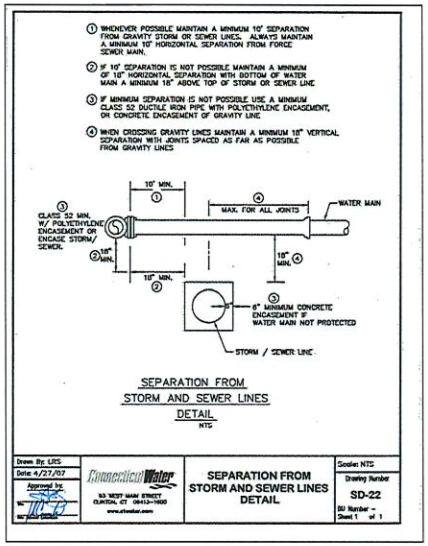

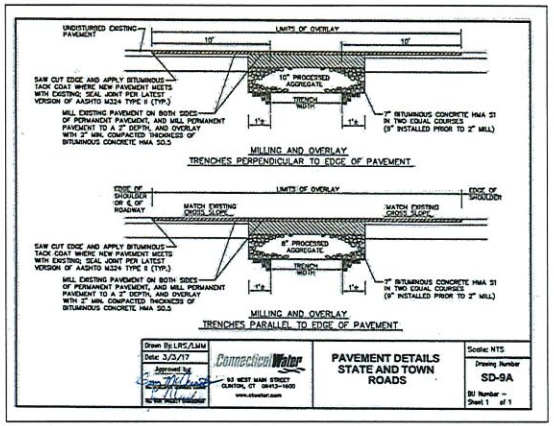

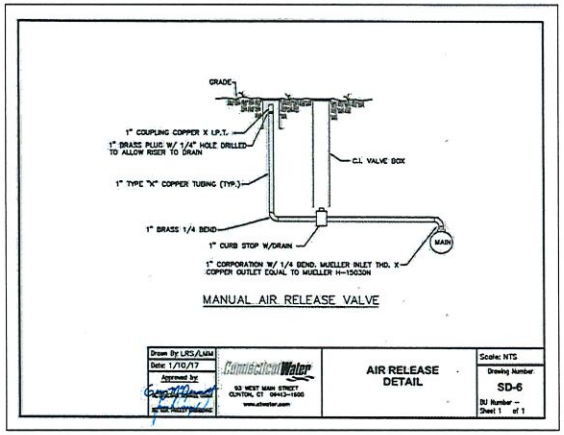

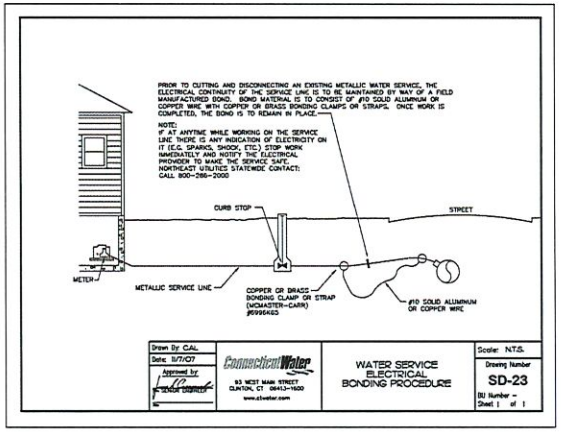

RUSSO SURVEYORS+ENGINEERS SERVICE CT & MA

J.R. Russo & Associates, LLC

REVISIONS

BY: LF/TAC | CHK: JEU

Prepared For

Town of East Windsor Public Works

Abbe Road

East Windsor, Connecticut

Detail Sheet

DATE: 3-30-23

SCALE: AS NOTED

JOB NUMBER: 2022-064

SHEET: 3 of 3

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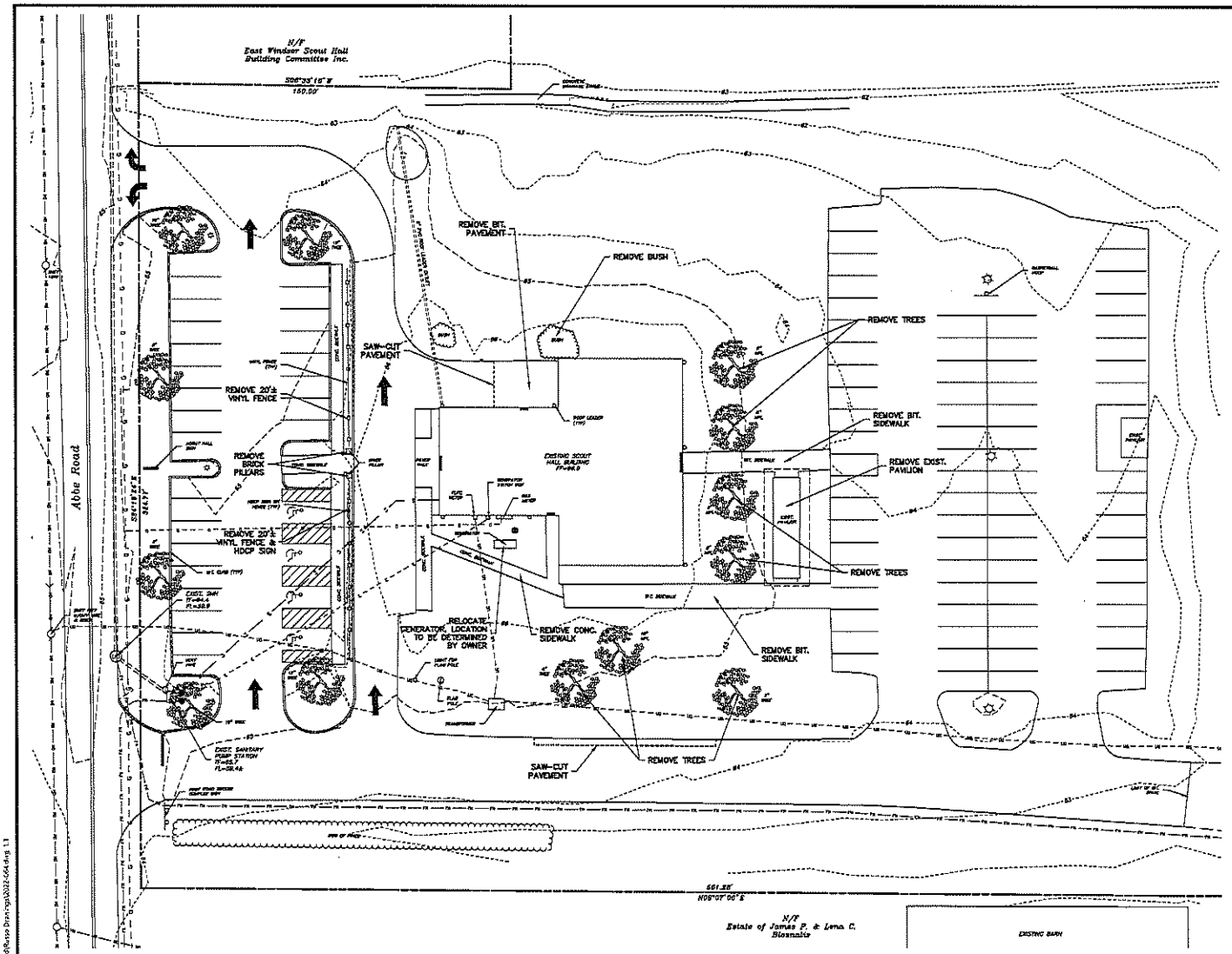

Reference Map:

1. "Property To Be Acquired By Windsor Show Stables, Inc. Abbe Road East Windsor, Connecticut Scale: 1"=100' Date: 9-9-94 Rev. 9-12-94" Class A-2 by J.R. Russo & Associates

Notes:

1. Horizontal datum based on Reference Map #1. Elevations based on N.A.V.D. 1988 Datum.
2. All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".
3. Foundation dimensions as shown on this plan are for site design purposes only. Foundation Contractor will use Architectural plans for layout and construction of the building(s) foundation.

LEGEND

	EXISTING UTILITY HANDHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
U	EXISTING UNDERGROUND UTILITIES
E	EXISTING UNDERGROUND ELECTRIC
	EXISTING WATER GATE
	EXISTING HYDRANT
W	EXISTING WATER LINE
	EXISTING GAS GATE
G	EXISTING GAS LINE
	EXISTING CATCH BASIN
	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
S	EXISTING SANITARY LATERAL
FM	EXISTING FORCE MAIN
	EXISTING SIGN
123.45	EXISTING SPOT GRADE
108	EXISTING CONTOUR

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

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SURVEYORS ENGINEERS
SERVICE FIRST ALWAYS
J.R. Russo & Associates, LLC
1505 Main Street, P.O. Box 1172, Windsor, CT 06095 Tel: 860-688-6172
www.russosurveyengineers.com

REVISIONS

BY	DATE
LF/TAC	JDU

Community Center
Prepared For
Town of East Windsor Public Works
28 Abbe Road
East Windsor, Connecticut

Existing Conditions Demolition Plan

DATE	10-3-22
SCALE	1"=20'
JOB NUMBER	2022-064
SHEET	X of X

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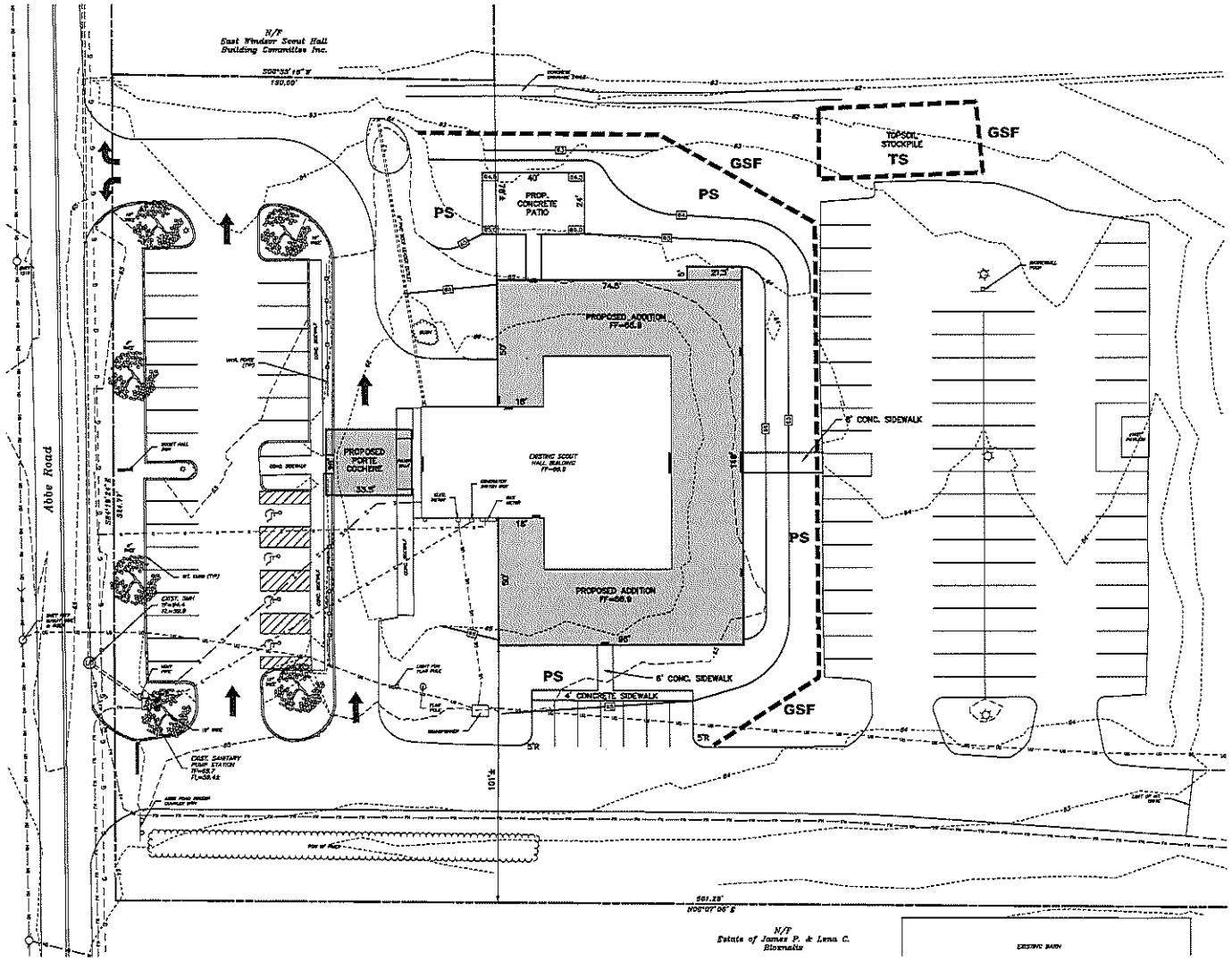

Reference Map:

1. "Property To Be Acquired By Windsor Show Stables, Inc. Abbe Road East Windsor, Connecticut Scale: 1"=100' Date: 8-9-94 Rev. 9-13-94" Class A-2 by J.R. Russo & Associates

Notes:

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LEGEND

	EXISTING UTILITY HANDHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
—UG—	EXISTING UNDERGROUND UTILITIES
—E—	EXISTING UNDERGROUND ELECTRIC
	EXISTING WATER GATE
	EXISTING HYDRANT
—W—	EXISTING WATER LINE
	EXISTING GAS GATE
—G—	EXISTING GAS LINE
	EXISTING CATCH BASIN
	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
—S—	EXISTING SANITARY LATERAL
—FM—	EXISTING FORCE MAIN
	EXISTING SIGN
135x0	EXISTING SPOT GRADE
—138—	EXISTING CONTOUR
135X	PROPOSED SPOT GRADE
138	PROPOSED CONTOUR
	STAKED HAYBALES OR SILT FENCE

EROSION & SEDIMENT CONTROL PLAN KEY

PS	PERMANENT SEEDING
TS	TEMPORARY SEEDING
GSF	GEOTEXTILE SILT FENCE

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

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RUSSO
SURVEYORS-ENGINEERS
SINCE 1977 USA
J.R. Russo & Associates, LLC
Proud on the East Side of Connecticut 860-742-7515 fax 742-6175
www.jrrusso-surveyors-ct.com

REVISIONS

RVD 17/TAC	CHKD JEU

Community Center
Prepared For
Town of East Windsor Public Works
28 Abbe Road
East Windsor, Connecticut

Site Plan

DATE	10-3-22
SCALE	1"=20'
JOB NUMBER	2022-064
SHEET	X of X

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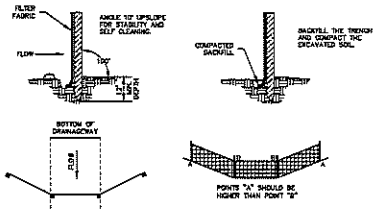
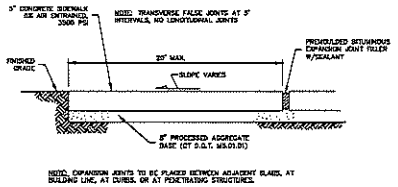


SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT

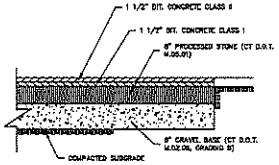
GEOTEXTILE SILT FENCE (GSF)

NOT TO SCALE



TYPICAL SIDEWALK DETAIL

NOT TO SCALE



NOTE: WHERE SUBGRADES ARE ON WET SILT OR CLAY, CONTRACTOR TO INSTALL ADDITIONAL 12" OF ¾" CRUSHED STONE ON TENSAR TRIAX GEOGRID BELOW GRAVEL SUBBASE.

PAVEMENT DETAIL

NOT TO SCALE

RUSSO
SURVEYORS • ENGINEERS
SOUTHEAST BLVD.
J.R. Russo & Associates, LLC

REVISIONS

DR: LF/TAG	CHK: JEU

Community Center
Prepared for
Town of East Windsor Public Works
28 Abbe Road
East Windsor, Connecticut

Detail Sheet

DATE	xx-xx-22
SCALE	AS NOTED
JRA NUMBER	2022-064
SHEET	X of X

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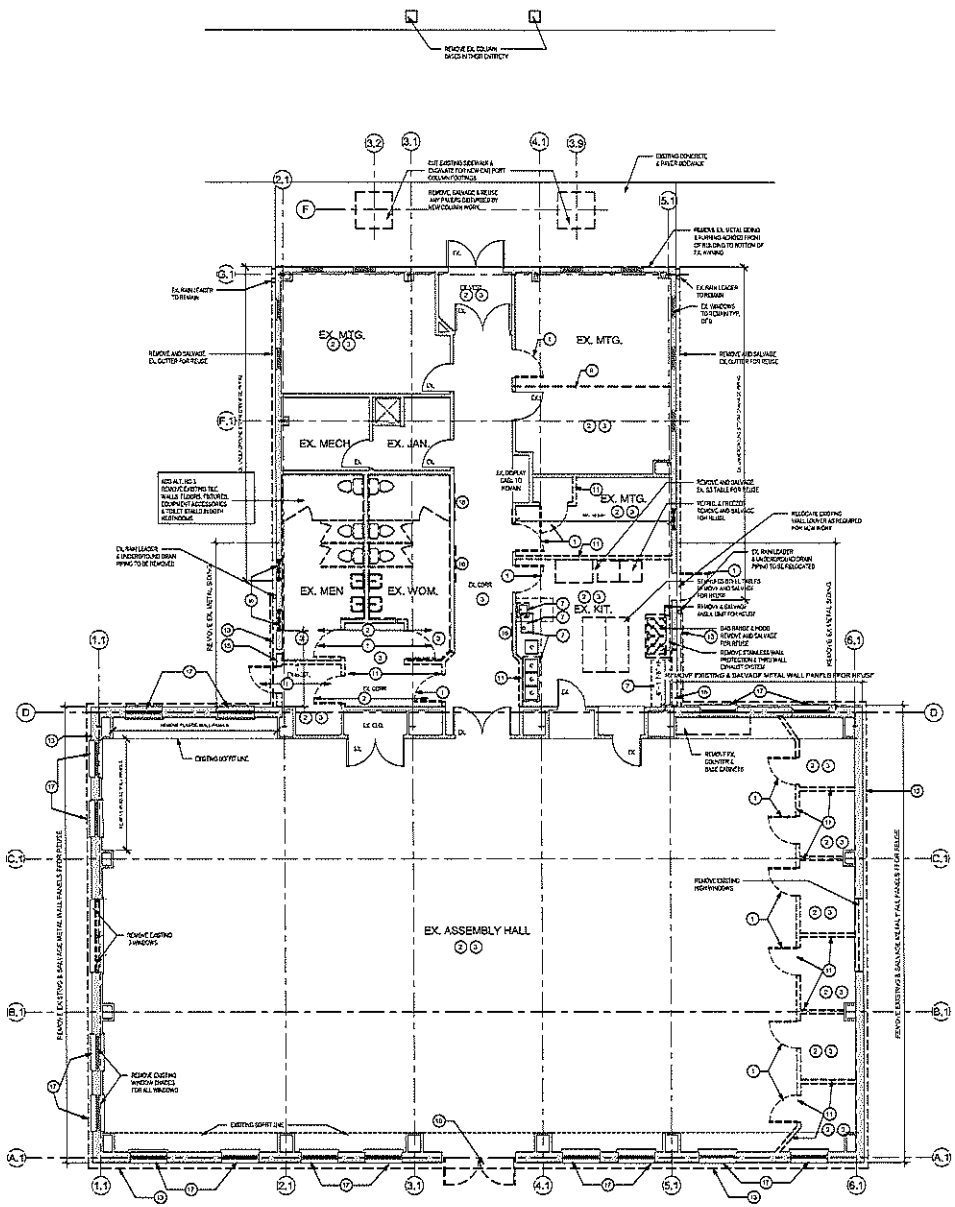


1 D01 DEMOLITION PLAN

3/16" = 1'-0"

DEMOLITION LEGEND

EXISTING WALL AND PARTITION CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES

1. CONTRACTOR TO VERIFY ALL CONDITIONS IN FIELD PRIOR TO START OF DEMOLITION WORK. DOCUMENTS ARE BASED ON FIELD MEASUREMENTS, PHOTOGRAPHS, AND VISUAL INSPECTION. ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN. CONTRACTOR MUST REPORT ANY VARIATIONS OR DISCREPANCIES TO ARCHITECT & OWNER PRIOR TO START OF DEMOLITION WORK. FAILURE TO REPORT DISCREPANCIES WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLETE COORDINATION OF ALL ASPECTS OF THE WORK.

2. DEMOLITION WORK INDICATED HEREON DWG IS A GENERAL REPRESENTATION OF PROJECT SCOPE, AND IS NOT INTENDED TO BE A COMPLETE REVIEW OF ITEMS OF ALL SELECTIVE DEMOLITION WORK REQUIRED. ALL INCIDENTAL WORK REQUIRED TO ACCOMPLISH THE WORK IS PART OF THE CONTRACT WORK, REGARDLESS OF WHETHER IT IS SHOWN IN THE DOCUMENTS.

3. NUMBERED DEMOLITION KEYNOTES INDICATE TYPE OF WORK TO BE PERFORMED WITHIN EACH AREA WHERE IT MAY BE FOUND. WHERE APPLICABLE, CONTRACTOR TO NOTIFY OWNER OF ALL WORK IN FIELD AND BRING ANY QUESTIONS OR DOUBTS TO ATTENTION OF ARCHITECT AND OWNER FOR RESOLUTION.

4. PROTECT ALL CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION. REPAIR/REPLACE CONSTRUCTION TO REMAIN DAMAGED DURING DEMOLITION TO MATCH THE QUALITY OF THE ALL NEW WORK.

5. NO OPEN AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES ON MEP AND FIRE PROTECTION COMPONENT.

6. ALL EXISTING PRE-FABRICATED SYSTEMS (SUCH AS PRE-CAST AND HOLLOW CORE STRUCTURAL FRAME, BEAMS, COLUMNS AND METAL DECKING SYSTEMS ARE TO REMAIN IN FACT WHERE, HOWEVER, ANY PORTION OF THE FIRE PROTECTION SYSTEMS THAT ARE REMOVED SHALL BE QUANTIFIED IN THE BIDS FOR REPLACEMENT.

7. REMOVE & SALVAGE EXISTING VERTICAL METAL SIDING AND RAIN LEADERS FOR REUSE. TYPICAL AROUND BUILDING AT NEW ADDITION.

8. REMOVE EXISTING PAINTED CMU PER DRAWING 1, DETAIL 8/A4.3 & SPECIFICATIONS THRUGHOUT EXISTING ROOMS.

NUMBERED DEMOLITION NOTES

1. REMOVE EXISTING DOOR, FRAME, HARDWARE AND THRESHOLDS WHERE APPLICABLE.
2. REMOVE EXISTING FLOOR FINISH AND WALL BASE.
3. REMOVE EXISTING CEILING SYSTEM WITH EQUIPMENT.
4. REMOVE EXISTING PLASTIC WALL PANELS.
5. REMOVE EXISTING WINDOW IN THEIR ENTIRETY, LEAVE WINDOW SILLS TO REMAIN.
6. REMOVE A PORTION OF THE EXISTING CONCRETE SLAB AS REQUIRED TO RECEIVE NEW HVAC VENT TRUNK & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
7. REMOVE & SALVAGE EXISTING KITCHEN PLUMBING FIXTURES, COUNTERTOP, GREASE TRAP, DISHWASHER, AND RELATED SYSTEMS. SALVAGE GAS RANGE & HOOD FOR REUSE.
8. REMOVE EXISTING INTERIOR AND EXTERIOR LIGHT FIXTURES AND ALL RELATED WIRING, SWITCHES AND RECEPTACLES. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
9. REMOVE EXISTING FOLDING PARTITION IN ITS ENTIRETY.
10. SAW CUT AND REMOVE PORTION OF EXISTING EXTERIOR CONCRETE WALLS TO ALLOW NEW WORK.
11. REMOVE EXISTING INTERIOR DWELLING HOT AND COLD WATER LINES, STUD PARTITIONS, WALL SYSTEMS, UNITS AND CEILING SYSTEMS.
12. NEW MECHANICAL, PLUMBING & ELECTRICAL ROUGH-IN PENETRATIONS (APPROXIMATE LOCATIONS IN REF PLANS).
13. REMOVE EXISTING UNDERGROUND STORM DRAIN PIPING INCLUDING HANGERS AND CONNECTING PIPING.
14. REMOVE PORTION OF EXISTING EXTERIOR WALL SUBGRADE TO RECEIVE NEW WORK.
15. REMOVE EXISTING DOORS, FRAME & TRANSOM.
16. REMOVE EXISTING BULLETIN BOARDS & SALVAGE FOR REUSE.
17. REMOVE EXISTING MASONRY THRESHOLD SILLS.

JAGER

4 Grand View Drive Enfield, CT 06082
860-692-1755 ejag@aol.com

This document contains confidential information, is an instrument of service and the property of the Architect. It shall not be used on other projects or for the extension of this project without the Architect's written approval.

All products, fixtures, and equipment shall be installed in accordance with manufacturers' installation instructions and all applicable codes.

All dimensions, materials, and specifications are to be verified by the Contractor prior to the commencement of work.

The Contractor shall be responsible for construction means, methods, techniques, sequences, and safety precautions in connection with the work.

PROJECT NAME:

Alterations & Additions
East Windsor Community Center

PROJECT ADDRESS:

28 Abbe Road
East Windsor, CT 06088

PROJ NO:

2021.33

ISSUE DATE:

9/20/2022

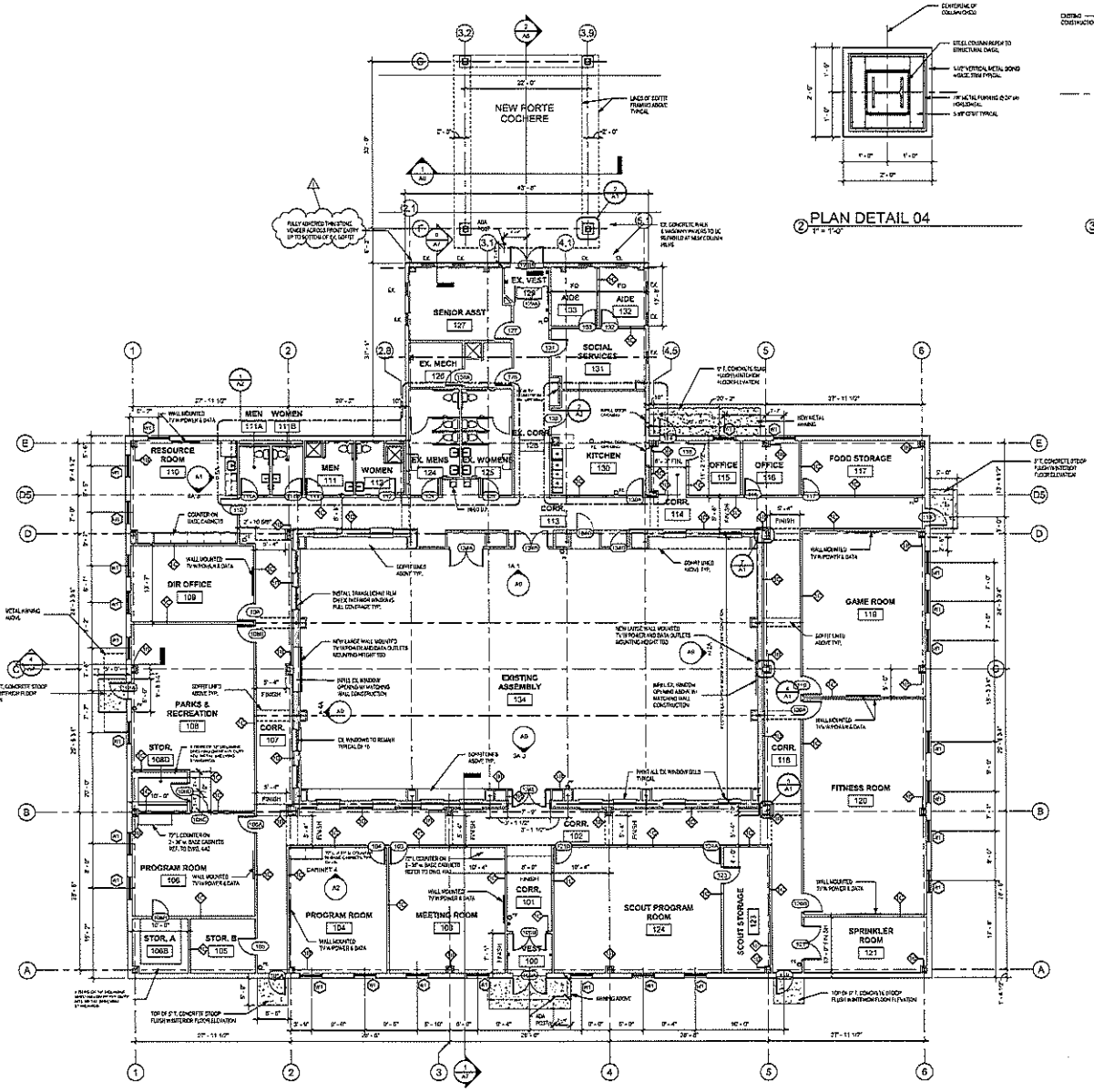
REVISION DATE:

DRAWING

DEMOLITION PLAN

AD1

11/8/2023 6:14:34 PM



1 GROUND FLOOR PLAN
1/8" = 1'-0"

PLAN LEGEND

EXISTING WALL AND PARTITION CONSTRUCTION TO REMAIN

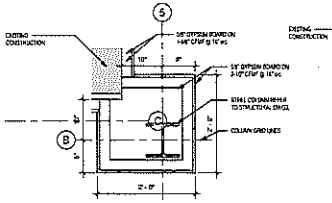
NEW WALL AND PARTITION CONSTRUCTION

NEW WHEELCHAIR PUSH BUTTON ADA ACCESS CONTROL

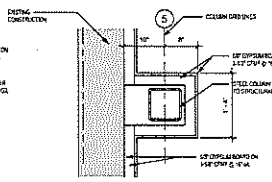
PARTITION TYPES

1. NOT USED
2. 2-5/8" 20 GA. CSR @ 16" w/ 1 LAYER OF 5/8" GYPSUM BOARD ON 1 SIDE FULL HEIGHT.
3. 3-5/8" 20 GA CSR @ 16" w/ 1 LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD ONE SIDE ON WATERMARK SIDE FULL HEIGHT & ONE LAYER OF REGULAR 5/8" GYPSUM BOARD FULL HEIGHT.
4. 3-5/8" 20 GA CSR @ 16" w/ 1 LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD ONE SIDE FULL HEIGHT.
5. 3-5/8" 20 GA CSR @ 16" w/ 1 LAYER OF 5/8" STANDARD GYPSUM BOARD EACH SIDE FULL HEIGHT.

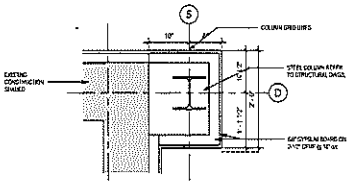
2 PLAN DETAIL 04
1" = 1'-0"



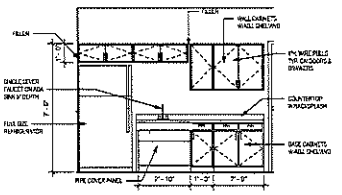
3 PLAN DETAIL 01
1" = 1'-0"



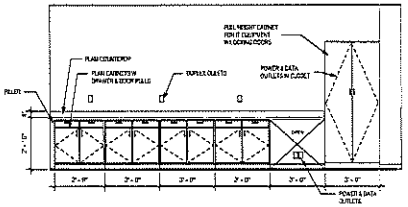
4 PLAN DETAIL 02
1" = 1'-0"



7 PLAN DETAIL 03
1" = 1'-0"



6 RESOURCE ROOM EAST ELEVATION
3/8" = 1'-0"



8 RESOURCE ROOM SOUTH ELEVATION
3/8" = 1'-0"

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4 Great View Drive Ellington, CT 06029
860-803-1766 ejager@ejager.com

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Alterations & Additions
East Windsor Community Center

PROJECT ADDRESS:
28 Abbe Road
East Windsor, CT 06088

PROJ NO: 2021.33

ISSUE DATE: 9/20/2022

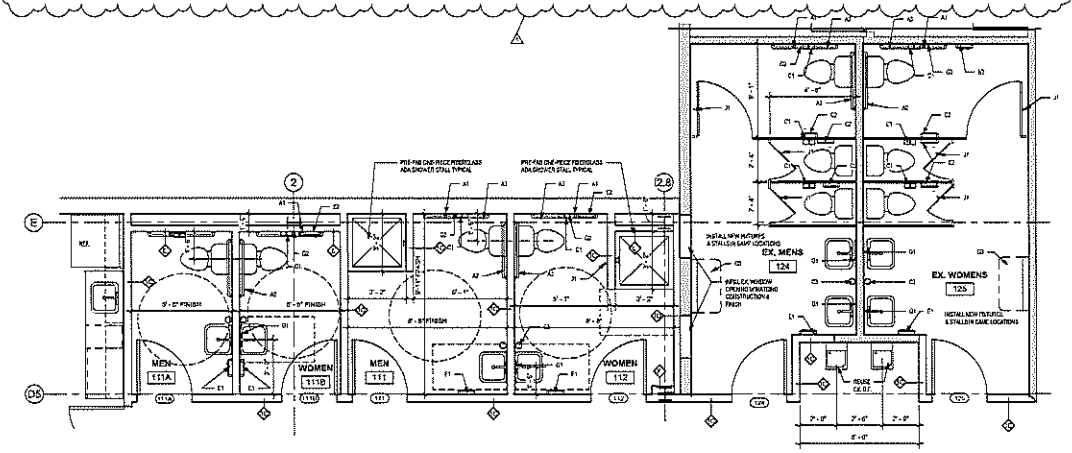
REVISION DATE:

1 11-8-2023 Remove interior & exterior stone veneer partition types, and equalize all base reveals above stone, and the veneer veneer at every wall

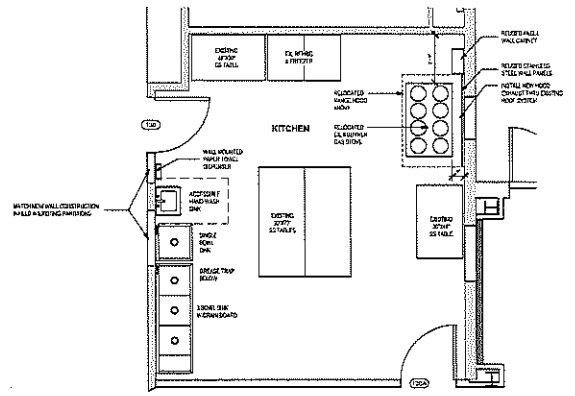
DRAWING:
GROUND FLOOR PLAN

A1

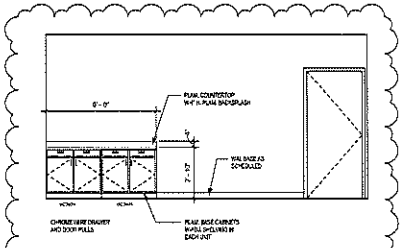
11/8/2023 8:00:57 PM



1 TOILET ROOM PLANS
3/8" = 1'-0"



2 KITCHEN PLAN
3/8" = 1'-0"



4 MILLWORK ELEVATION
3/8" = 1'-0"

TOILET ACCESSORY LEGEND
BOBRICK ACCESSORIES

A1 B-6806 36" V VERTICAL GRAB BAR
A2 B-6806 36" L SIDE GRAB BAR
A3 B-6806 36" L GRAB BAR

C1 B-265 - SURFACE MOUNTED ROLL TOILET TISSUE DISPENSER
C2 B-4287 - SURFACE MOUNTED TOILET SEAT COVER DISPENSER
C3 B-4112 - SURFACE MOUNTED SOAP DISPENSER

E1 B-262 - PAPER TOWEL DISPENSER

F2 B-270SC - SURFACE MOUNTED SANITARY NAPKIN DISPENSER
F3 B-2270 - SURFACE MOUNTED SANITARY NAPKIN DISPOSAL

G1 B-165 1824 - WALL MOUNTED TILTING FRAMED MIRROR

H2 CAL PON AD CHROMED LOCATION

K3 KS 20 2SH HAND DRYER, WALL MOUNTED

J1 B-4134 COAT HOOK

SHOWER STALLS BY FREEDOM
MODEL: FREEDOM ADA TRANSFER SHOWER - APPROXIMATE WIDTH
MODEL: FREEDOM ADA TRANSFER SHOWER - APPROXIMATE WIDTH
ACCESSORIES
Folding Shower Seat (factory installed)
Grab bars installed at & around (factory installed)
Shower Rod (factory installed)
Curtains Green
Soap dish (factory installed)
Pressure Balance Mixing Valve and Handheld Shower & Slide Bar (factory installed)
Weighted Curtain
Collapsible Wand Retainer
Flange trim kit

TOILET STALLS BY METPAR
MODEL: TYPE PP SERI CORNER HAN
SOLIDE

ROOM FINISH SCHEDULE

Level	ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL BASE FINISH	WALL FINISH NORTH	WALL FINISH EAST	WALL FINISH SOUTH	WALL FINISH WEST	WAINSCOTING	CEILING FINISH	COMMENTS
GROUND LEVEL	100	VEST	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	101	CORR	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	102	CORR	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	103	MECH ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	104	PROGRAM ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	105	STOR B	VCT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	106	PROGRAM ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	106A	STOR A	VCT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	107	CORR	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	108	PANEL & RECEPTION	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	109D	STOR	VCT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	110	DINING HALL	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	110	MULTI-PURPOSE ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	111	MEN	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-1	
GROUND LEVEL	111A	MEN	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-1	
GROUND LEVEL	111B	WOMEN	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-1	
GROUND LEVEL	112	WOMEN	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-1	
GROUND LEVEL	113	CORR	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	114	CORR	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	115	OFFICE	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	116	OFFICE	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	117	FOOD STORAGE	EPOXY	EPOXY	PT-1	PT-1	PT-1	PT-1		ACT-2	
GROUND LEVEL	118	CORR	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	119	GAME ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	120	FITNESS ROOM	RUB-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	121	WEIGHT ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	122	SCOUT STORAGE	VCT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	123	LIL ROOM	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-2	
GROUND LEVEL	124	SCOUT PROGRAM ROOM	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	125	LIL WOMENS	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-1	
GROUND LEVEL	126	PL WELD	CT-1	CT	CT-1	CT-1	CT-1	CT-1		ACT-1	
GROUND LEVEL	127	MENSH ALLEY	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	128	LIL GYM	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	129	PL WELD	LVT	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	130	KITCHEN	EPOXY	EPOXY	PT-1WG	PT-1WG	PT-1WG	PT-1WG		ACT-2	
GROUND LEVEL	131	REGAL SUNNIES	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	132	ADS	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	133	ADS	CPT-1	VB	PT-1	PT-1	PT-1	PT-1		ACT-1	
GROUND LEVEL	134	CHOICE ACTIVITY 1	PC	VB	PT-1	PT-1	PT-1	PT-1	PT-1	ACT-1	

ROOM FINISH MATERIALS

FLOORING
CARPET TILES
CPT-1: OFFICES & PROGRAM ROOMS

SEALED CONCRETE
SC-1 CLEAR COAT POLYURETHANE

CERAMIC TILE
CT-1 NEW & EXISTING RESTROOM FLOORS

VINYL COMPOSITION TILE
VCT-1: OTHER ROOMS

LUXURY VINYL TILE
LVT-1 CORRIDORS

INTERLOCKING RUBBER
RB-1 (Location: see Life safety and other project floor plans for details)

EPOXY RESIN FLOORING
EPX-1 KITCHEN FLOOR AND WALL BASE

WALL BASE
WOOD
WB-1: ASSEMBLY ROOM

VINYL
VWB-1: ALL OTHER SPACES EXCEPT AS NOTED

CERAMIC
CWB-1: RESTROOMS

WALL FINISHER

PAINT
PT-1 EXISTING GYPSUM BOARD WALLS
PT-2 NEW & EXISTING METAL DOORS & FRAMES
PT-3 NEW & EXISTING WOOD HANDRAILS
PT-4 NEW & EXISTING WOOD WINDOW SILLS
PT-5 NEW & EXISTING WOOD WALL BASE

CERAMIC
CT-2 NEW & EXISTING RESTROOM WALLS, FULL HEIGHT

FRP
FRP-1 KITCHEN WALLS, FULL HEIGHT

STAINLESS STEEL
SS-1 KITCHEN WALL BEHIND EXISTING GAS RANGE

CEILING FINISHES
PAINTED GYPSUM BOARD - SUPPLY TO PT-2
ACT-1 ARMSTRONG ACOUSTIC TILE
ACT-1 ULTIMA, 24"x24", SANDMARK WHITE, DEVELIED REGULAR WHITE 15/16 GRID
ACT-2 CLASSIC FINE, TEXTURED, 1824, SANDMARK WHITE, FISSURAN EDGE, WHITE 15/16 GRID
ACT-3 ULTIMA, 24"x24", SANDMARK WHITE, ACOUSTI FLOCK WHITE 15/16 GRID
ACT-4 ULTIMA, 24"x24", SANDMARK WHITE, SQUARE LAY-IN, WHITE 15/16 GRID

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860-803-1066 kjm@jarch.com

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2021.33

ISSUE DATE:
9/20/2022

REVISION DATE:

1 11-8-2023 Revised (generated as ceiling, including stairs & where seen, elevated ceiling slab on metal deck and related support steel framing, all new services and replacement of existing value

DRAWING
ENLARGED RM PLANS & FINISH SCHEDULE

A2

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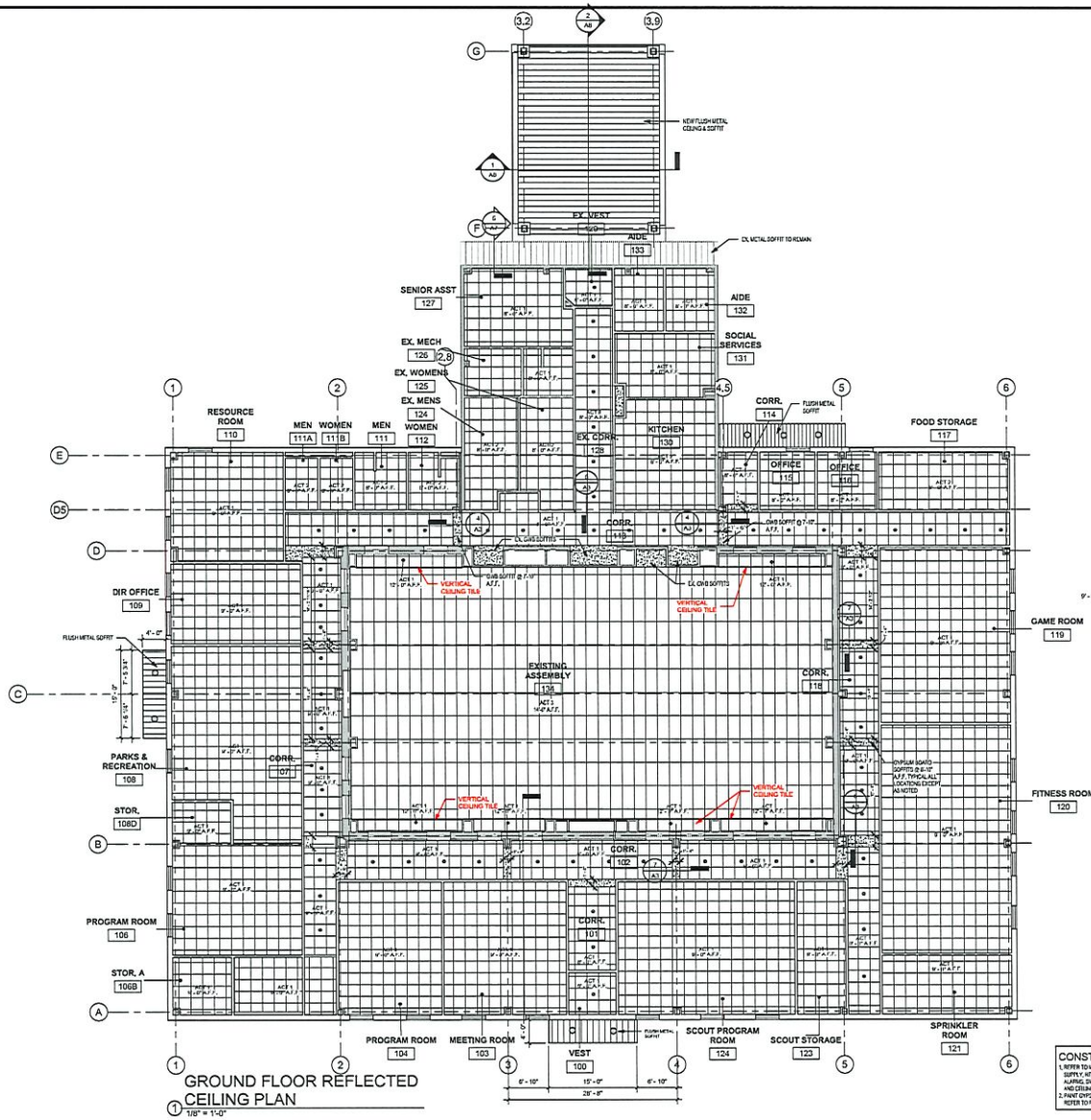
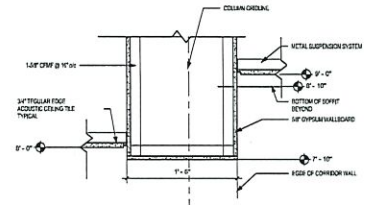
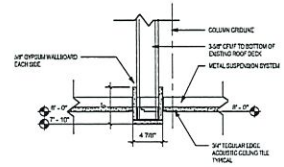


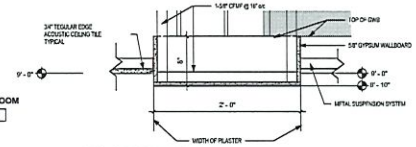
GROUND FLOOR REFLECTED CEILING PLAN
1 1/8" = 1'-0"



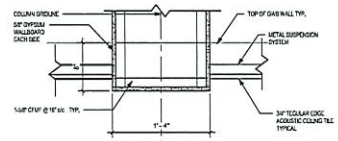
4 SOFFIT DETAIL 01
1 1/2" = 1'-0"



5 SOFFIT DETAIL 02
1 1/2" = 1'-0"



6 SOFFIT DETAIL 03
1 1/2" = 1'-0"



7 SOFFIT DETAIL 04
1 1/2" = 1'-0"

CONSTRUCTION NOTES

1. REFER TO MEP DRAWINGS FOR LOCATIONS OF AIR SUPPLY, KITCHEN HOOD, LIGHT FIXTURES, ALARMS, SMOKE DETECTORS, FIRE DETECTORS AND CEILING FANS.
2. PAINT GYPSUM BOARD CEILING AND SOFFITS. REFER TO FINISH SCHEDULE.

REFLECTED CEILING PLAN LEGEND:

- 1x4 SURFACE MOUNTED LIGHT FIXTURE W/ WRAP AROUND LENS
- LIGHT FIXTURES (SEE ELECTRICAL DWGS)
- REGISTERS, GRILLES, DIFFUSERS (SEE HVAC DWGS)
- SEMI-RECESSED TYPE SPRINKLER HEAD
- CONCEALED TYPE SPRINKLER HEAD
- UPRIGHT TYPE SPRINKLER HEAD
- SIDEWALL TYPE SPRINKLER HEAD
- DRY TYPE SPRINKLER HEAD
- SPEAKER
- SMOKE DETECTOR
- OCCUPANCY SENSOR
- EXIT SIGN
- POWER REEL
- HEAT SENSOR
- PROJECTOR LOCATION PROJECTOR (ALL) PROVIDE MOUNTING BRACKET, RE: DETAILS ON ATTI
- SECURITY CAMERA LOCATION (NEC)
- ACOUSTICAL CEILING TILE
- GYPSUM BOARD CEILING PAINTED 5/8" GYPSUM BOARD OVER 7/8" HAT FURRING AT 16" OAC SUSPEND FROM STRUCTURE WITH WIRE HANGERS AT 48" O.C.

Stephen Jager, AIA
JAGER ARCHITECTURE
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjae@aol.com

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1 11-8-2023 Remove basement ceiling plan in its entirety

DRAWING
REFLECTED CEILING PLANS

A3

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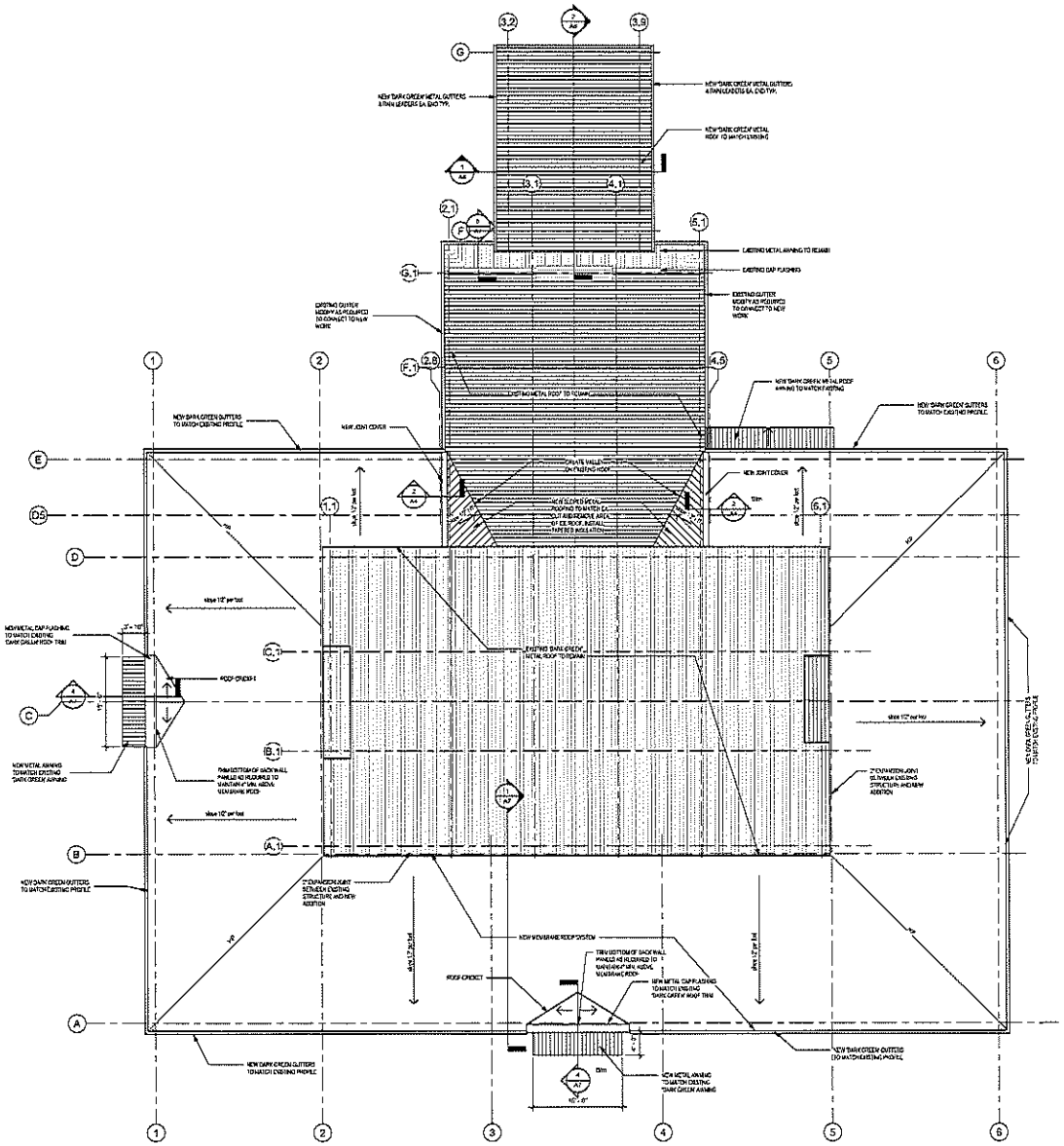
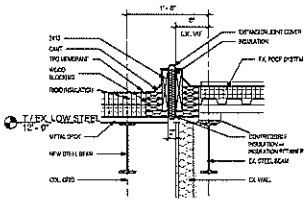


1 02 ROOF PLAN
1/8" = 1'-0"



2 ROOF EXPANSION JOINT
1" = 1'-0"

EXISTING METAL ROOF WILL HAVE TO BE MODIFIED TO IMPROVE ROOF DRAINAGE

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4 Grand View Drive Enfield, CT 06082
860-803-1265 vmj@aol.com

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2021.33

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DRAWING
ROOF PLAN

A4

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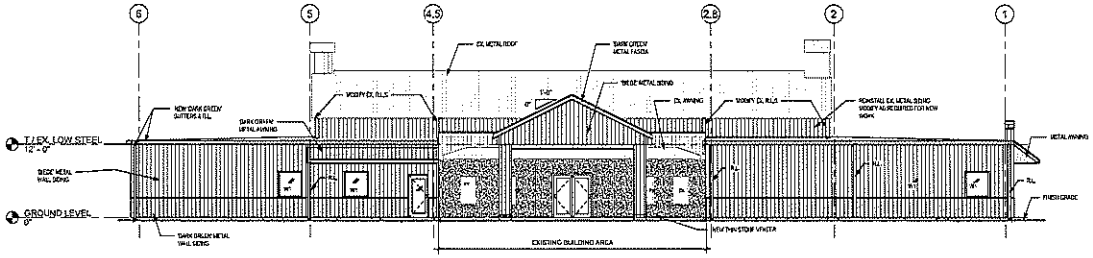
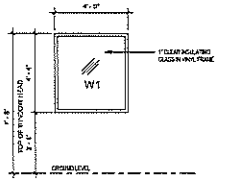
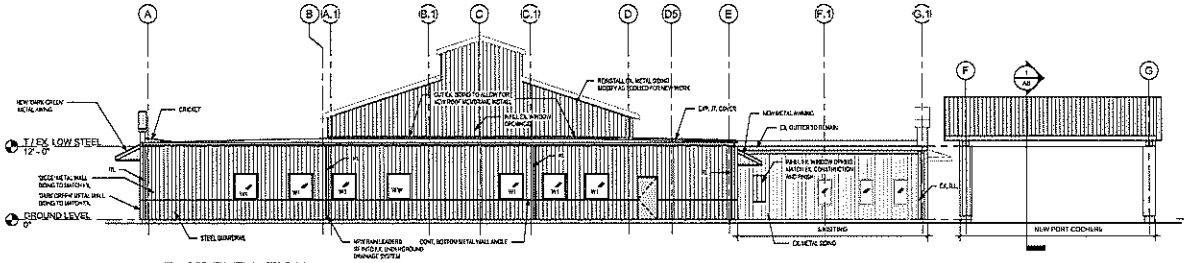


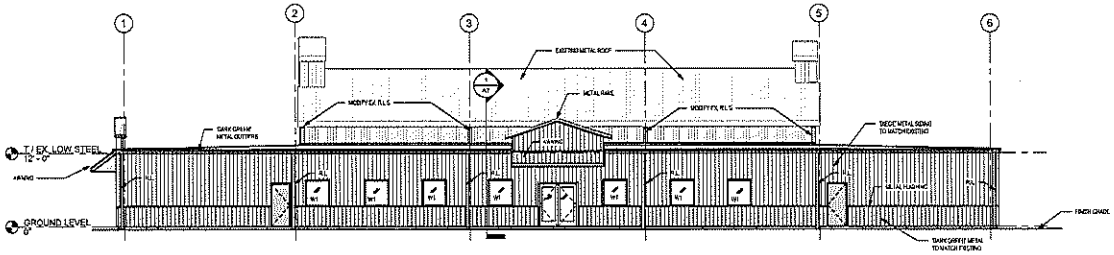
④ NORTH ELEVATION
1/8" = 1'-0"



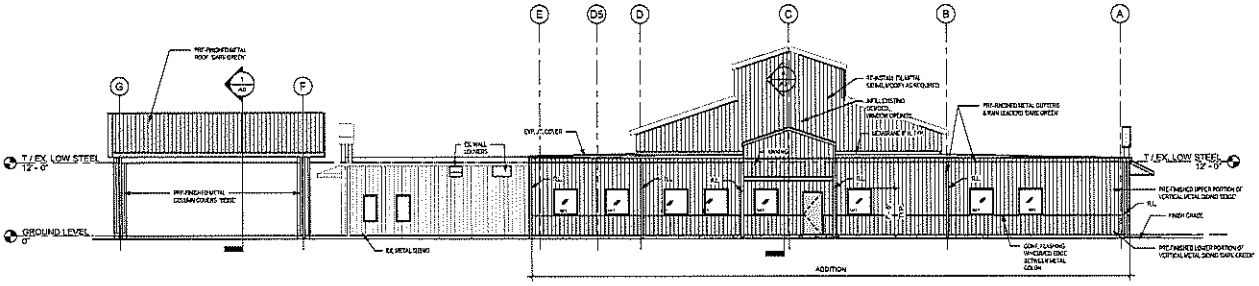
⑥ WINDOW ELEVATION
3/8" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"



② SOUTH ELEVATION
1/8" = 1'-0"



③ WEST ELEVATION
1/8" = 1'-0"

JAGER
4 Grand View Drive CANTON, CT 06032
860-693-1266 mail@jaksarch.com

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Alterations & Additions
East Windsor Community Center

PROJECT ADDRESS:
28 Abbe Road
East Windsor, CT 06088

PROJ NO:
2021.33

ISSUE DATE:
9/20/2022

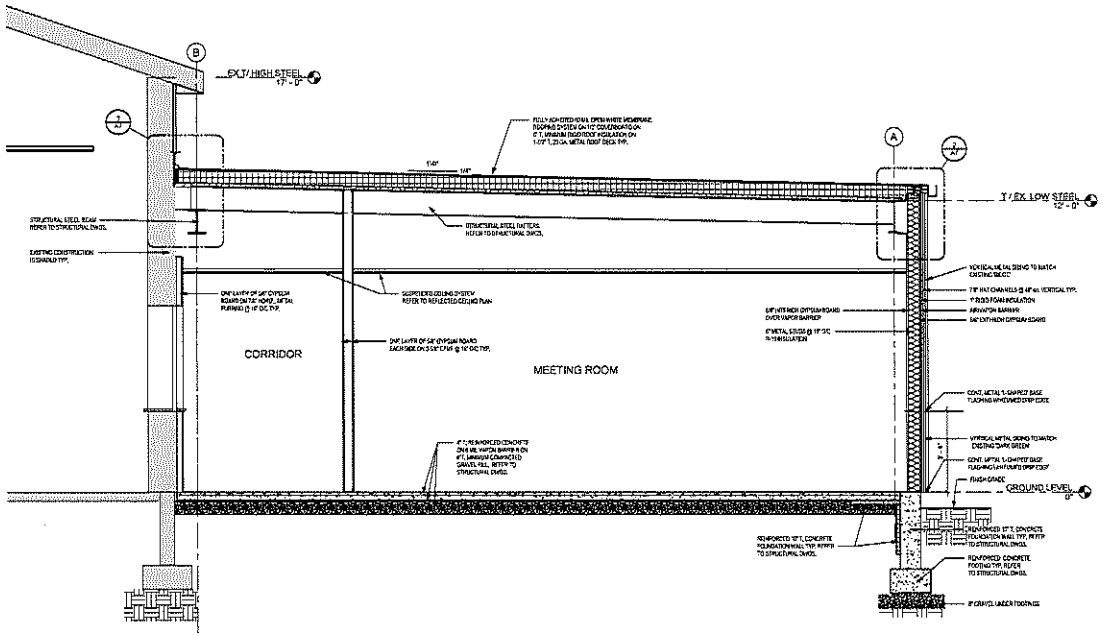
REVISION DATE:

1 11-6-2023 Refinish All Fascia Gutters

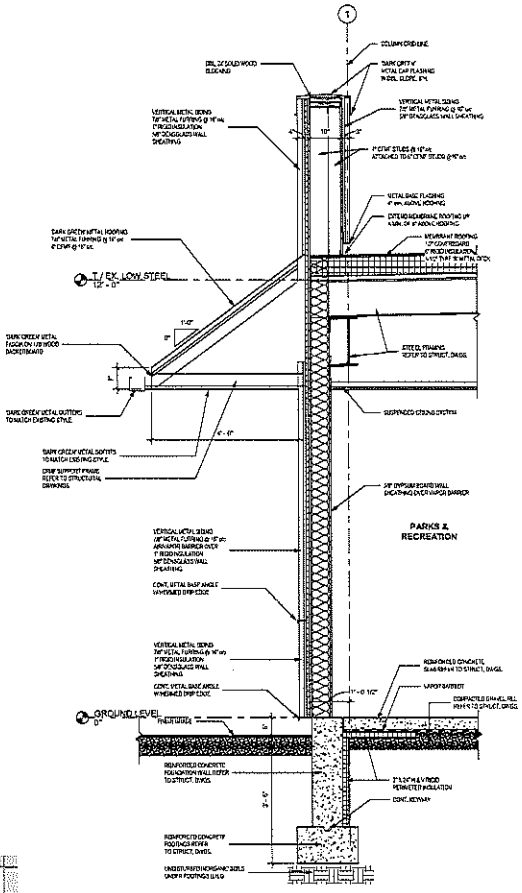
DRAWING
EXTERIOR ELEVATIONS

A6

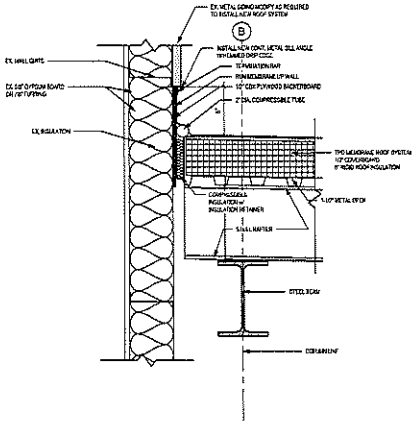
11/8/2023 6:03:14 PM



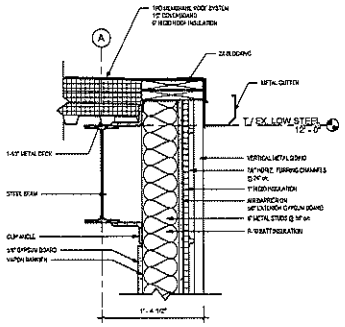
1 BUILDING SECTION A
1/2" = 1'-0"



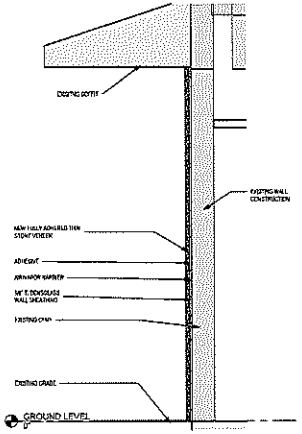
4 WALL SECTION 01
3/4" = 1'-0"



3 WALL/ROOF DETAIL 01
1 1/2" = 1'-0"



2 EAVE DETAIL 01
1 1/2" = 1'-0"



5 SECTION THRU STONE VENEER
3/4" = 1'-0"

JAGER

4 Grand View Drive CANTON, CT 06022
860-693-1766 info@jager.com

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9/20/2022

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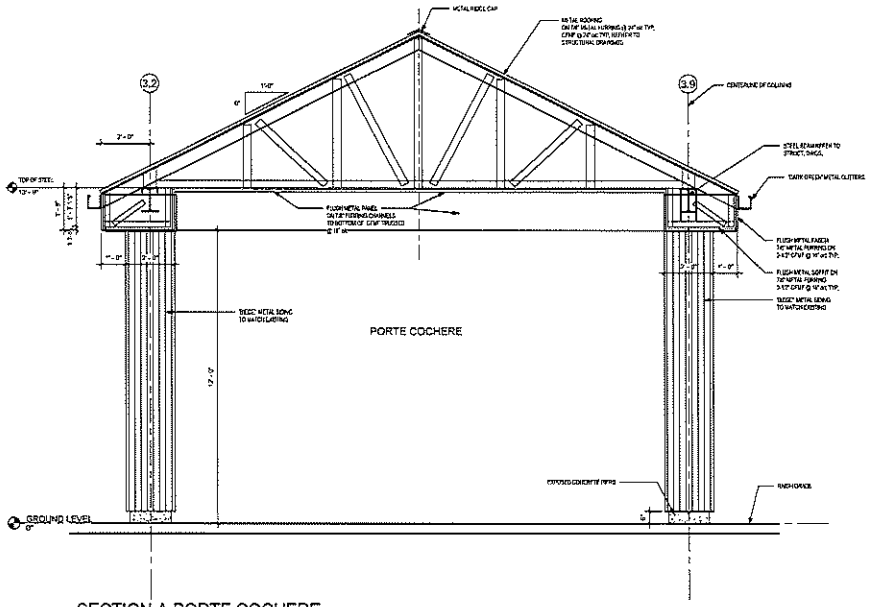
1 11-8-23 Revised Sections, add stone veneer detail

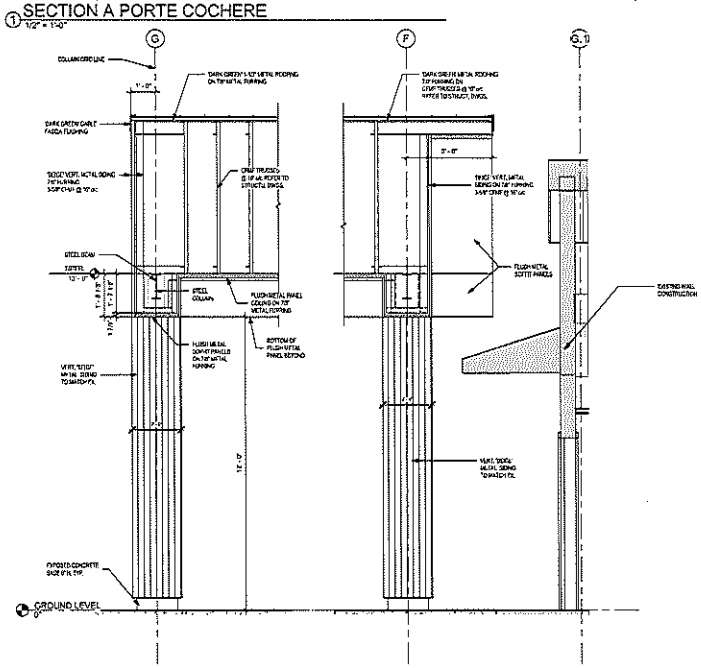
DRAWING
BUILDING & WALL SECTIONS & DETAILS

A7

11/8/2023 6:03:51 PM



1 SECTION A PORTE COCHERE
1/2" = 1'-0"



2 SECTION B THRU CAR PORT
1/2" = 1'-0"

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4 Grand View Drive East Hartford, CT 06108
860-602-1705 kaj@wsl.com

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9/20/2022

REVISION DATE:

DRAWING
SECTIONS THRU PORTE COCHERE

A8

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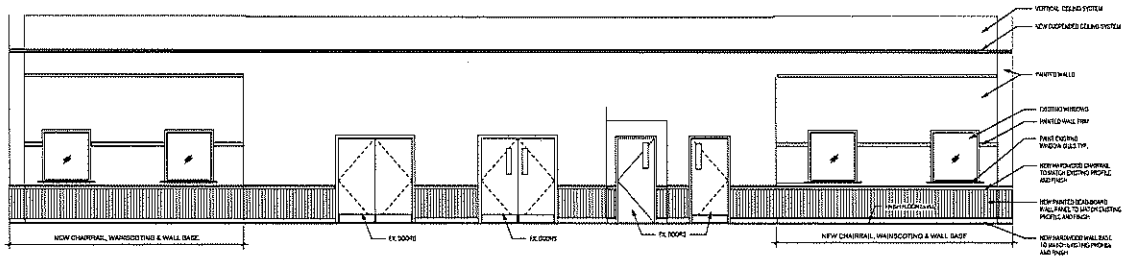
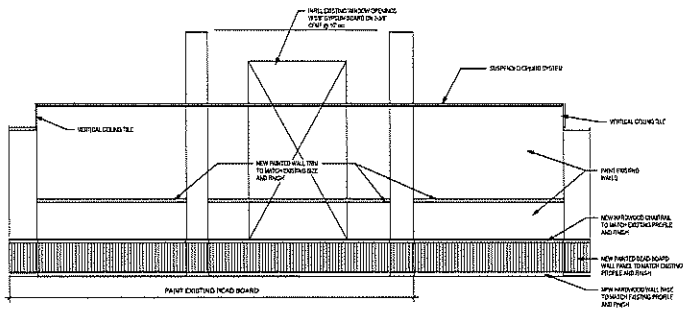
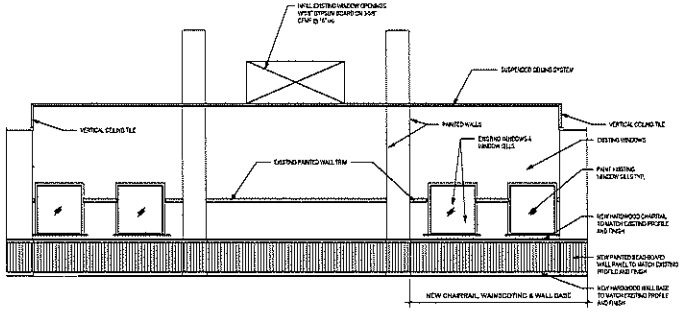


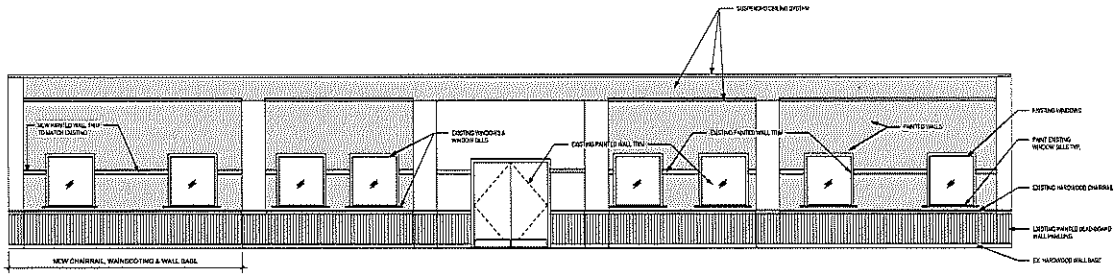
① ROOM 134 NORTH ELEVATION
1/4" = 1'-0"



② ROOM 134 EAST ELEVATION
1/4" = 1'-0"



④ ROOM 134 WEST ELEVATION
1/4" = 1'-0"



③ ROOM 134 SOUTH ELEVATION
1/4" = 1'-0"

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4 Grand View Drive Enfield, CT 06083
860-653-1265 rjal@aol.com

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9/20/2022

REVISION DATE:

DRAWING:
INTERIOR ELEVATIONS

A9

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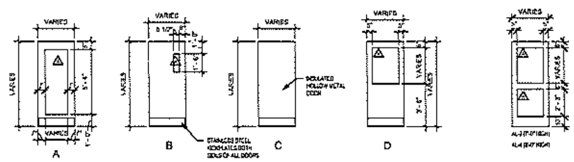
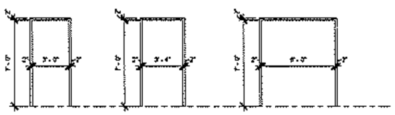
DOOR SCHEDULE

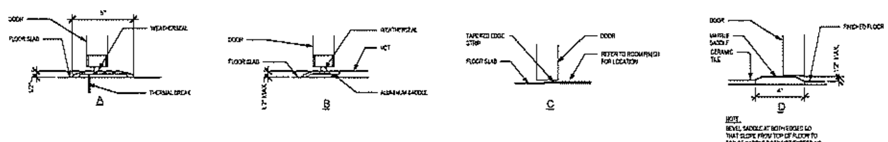
Level	DOOR NUMBER	EXISTING	ROOM NAME	PR OF DOORS	DOOR SIZE WIDTH	DOOR SIZE HEIGHT	DOOR SIZE THICKNESS	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME ELEVATION	FRAME MATERIAL	FRAME FINISH	HEAD DETAIL	JAMB DETAIL	SILL TYPE	PANIC RELEASE BAR	HORIZONTAL PUSH BAR	POSITIVE LATCHING	DOOR CLOSER	LEVER HANDLE	KICKPLATE	TACTILE WARNING	LOCKSET	WALL STOP	E.M. HOLDER OPEN	POWER ASSISTED	3 PAIR OF HINGES	DOOR SILENCERS	PUSH PLATE	VERTICAL PULL	ACCESSIBLE THRESHOLD	WEATHERSEAL	REMARKS
GROUND LEVEL	101A		VESTIBULE	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	A	PAINT	HD	F3	HM	PAINT			B	◦		◦	◦	◦	◦		◦			◦	◦	◦		◦	◦	◦	
GROUND LEVEL	101B		VESTIBULE	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	A	PAINT	HD	F3	HM	PAINT	J1	H2	-	◦	◦	-	◦	-	◦			◦		◦	◦	◦		◦			
GROUND LEVEL	102		MEETING ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J1	H1	-	◦		◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	103		PROGRAM ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J1	H1	-	◦		◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	104		STORAGE		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2				◦		◦	◦	◦	◦	◦			◦	◦					
GROUND LEVEL	105		LIBRARY		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT			B	◦		◦	◦	◦	◦		◦	◦			◦	◦			◦	◦	INSULATE DOOR FRAME W/ FOAM SPRAY
GROUND LEVEL	106A		PROGRAM ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	106B		PARKS & RECREATION		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	106C		PARKS & RECREATION		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	-	-	B	◦		◦	◦	◦	◦		◦	◦			◦	◦			◦	◦	INSULATE DOOR FRAME W/ FOAM SPRAY
GROUND LEVEL	106D		PARKS & RECREATION		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	106E		PROGRAM ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	106F		PARKS & RECREATION		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	109		DIRECTORS OFFICE		3'-0"	7'-0"	1 3/4"	A	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	110		RESOURCE ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	111		WOMENS TOILET		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦					
GROUND LEVEL	111A		MENS TOILET		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦					
GROUND LEVEL	111B		WOMENS TOILET		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦					
GROUND LEVEL	112		WOMENS TOILET		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦					
GROUND LEVEL	113		CORRIDOR		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	-	-	B			◦	◦	◦	◦		◦	◦			◦	◦					INSULATE DOOR FRAME W/ FOAM SPRAY
GROUND LEVEL	114		CORRIDOR		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	-	-	B			◦	◦	◦	◦		◦	◦			◦	◦					INSULATE DOOR FRAME W/ FOAM SPRAY
GROUND LEVEL	115		OFFICE		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	116		OFFICE		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	117		FOOD STORAGE		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	118		CLIPBOARD		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT			B	◦		◦	◦	◦	◦		◦	◦			◦	◦			◦	◦	INSULATE DOOR FRAME W/ FOAM SPRAY
GROUND LEVEL	119		GAME ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F3	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	120A		FITNESS ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F2	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	120B		FITNESS ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F2	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	121		SMALL ROOM	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	C	PAINT	HD	F3	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	122		SCOUT STORAGE		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	123		EXISTING MENS TOILET		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2					◦		◦			◦			◦	◦	◦	◦			
GROUND LEVEL	124A		SCOUT PROGRAM ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	124B		SCOUT PROGRAM ROOM		3'-0"	7'-0"	1 3/4"	B	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	125		EXISTING WOMENS TOILET		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦	◦	◦			
GROUND LEVEL	126	x	EXISTING MECHANICAL		3'-0"	7'-0"	1 3/4"	A	PAINT	-	-	HM	PAINT	-	-	-			◦		◦	◦	◦											REPAINT
GROUND LEVEL	126A	x	EXISTING MECHANICAL		3'-0"	7'-0"	1 3/4"	A	PAINT	-	-	HM	PAINT	-	-	-			◦		◦	◦	◦											REPAINT
GROUND LEVEL	127		SENIOR ASSISTANT		3'-0"	7'-0"	1 3/4"	A	PAINT	HD	F1	HM	PAINT	-	-	-			◦		◦	◦						◦	◦					
GROUND LEVEL	128A	x	EXISTING VESTIBULE	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	A	PAINT	-	-	HM	PAINT	-	-	-			◦	◦	◦	◦			◦	◦	◦	◦	◦					REPAINT
GROUND LEVEL	128B	x	EXISTING VESTIBULE	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	A	PAINT	-	-	HM	PAINT	-	-	-			◦	◦	◦	◦			◦	◦	◦	◦	◦		◦			REPAINT
GROUND LEVEL	129		KITCHEN		3'-0"	7'-0"	1 3/4"	D	PAINT	HD	F1	HM	PAINT	J3	H3	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	129A		KITCHEN		3'-0"	7'-0"	1 3/4"	D	PAINT	HD	F1	HM	PAINT	J3	H2	-			◦	◦	◦	◦		◦	◦			◦	◦					
GROUND LEVEL	130		SOCIAL SERVICES		3'-0"	7'-0"	1 3/4"	A	PAINT	HD	F1	HM	PAINT	J3	H3				◦		◦	◦		◦	-			◦	◦					REPAINT
GROUND LEVEL	131		KCS		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦					
GROUND LEVEL	132		KCS		3'-0"	7'-0"	1 3/4"	C	PAINT	HD	F1	HM	PAINT	J2	H2	-			◦	◦	◦	◦			◦			◦	◦					
GROUND LEVEL	134A	x	EXISTING ASSEMBLY	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	C	PAINT	-	-	HM	PAINT	-	-	-			-	-	-	-			-			-	-					REPAINT
GROUND LEVEL	134B	x	EXISTING ASSEMBLY	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	A	PAINT	-	-	HM	PAINT	-	-	-			◦	◦	◦	◦			◦	-		-	-					REPAINT
GROUND LEVEL	134C	x	EXISTING ASSEMBLY	PR OF 3'-0"	3'-0"	7'-0"	1 3/4"	B	PAINT	-	-	HM	PAINT	-	-	-			-	-	-	-			-			-	-					REPAINT
GROUND LEVEL	134D		EXISTING ASSEMBLY	PR OF 3'-0"	6'-0"	7'-0"	1 3/4"	A	PAINT	HD	F3	HM	PAINT	J2	H2	-	◦		◦	◦	◦	◦			◦	◦		◦	◦					



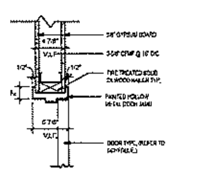
DOOR ELEVATION TYPES



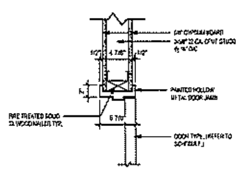
DOOR FRAME TYPES



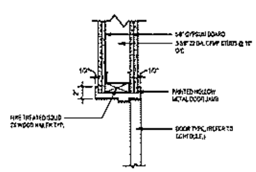
⑤ THRESHOLD TYPES
3" = 1'-0"



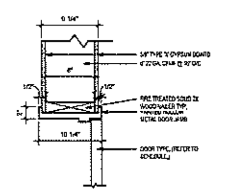
① INTERIOR JAMB & HEAD J1/H1
1 1/2" = 1'-0"



② INTERIOR JAMB & HEAD J2/H2
1 1/2" = 1'-0"



③ INTERIOR JAMB AND HEAD J3/H3
1 1/2" = 1'-0"



④ INTERIOR JAMB & HEAD J4/H4
1 1/2" = 1'-0"

GLAZING SCHEDULE

TYPE	DESCRIPTION	USE IN THESE LOCATIONS
△	1" INSULATED TEMPERED GLASS	ALL EXTERIOR DOORS, WINDOWS & STOREFRONT & CURTAIN WALL
△	1" FROSTED INSULATED TEMP. GLASS	ALL EXTERIOR WINDOWS AT TOILET ROOMS
△	1" SPANDREL INSULATED TEMP. GLASS	ALL EXTERIOR SPANDREL WINDOWS
△	1/4" FIRE RATED SAFETY GLAZING	ALL INTERIOR FIRE RATED & SMOKE RATED DOORS & WINDOWS
△	1/4" CLEAR TEMPERED GLASS	ALL INTERIOR NON-FIRE RATED DOORS & WINDOWS
△	1" INSULATED TEMPERED GLASS W/ SECURITY FILM	EXTERIOR DOORS, WINDOWS, STOREFRONT, AND CURTAIN WALL WITHIN 15'-0" OF GRADE.
△	1/2" TEMPERED GLASS	GLASS PARTITIONS WALL AND DOORS, INSTALL WINDOW FILM FOR ENTIRE GLASS SURFACE, WITH WRITTEN COPY PROVIDED BY OWNER
△	1.25" BALLISTIC RESISTANT GLASS	LEVEL 3 INTERIOR LOBBIES

LEGEND

SPANDREL GLASS

GENERAL WINDOW NOTES

1. ALL WINDOW SIZES MUST BE VERIFIED IN FIELD. CONTRACTOR TO VERIFY EXISTING OPENINGS AND COORDINATE WITH NEW FRAMES.
2. ALL WOOD BLOCKING REQUIRED AT EXTERIOR WALL/WINDOW DETAILS TO BE FIRE RETARDANT TREATED.

JAGER
4 Grand View Drive Enfield, CT 06082
860-803-7265

This document contains confidential information, is an instrument of service and the property of the Architect, it shall not be used on other projects or for the extension of the project without the Architect's written approval.

All products, fixtures, and equipment shall be installed in accordance with manufacturers' installation instructions and all applicable codes.

All dimensions, materials, and specifications are to be verified by the Contractor prior to the commencement of work.

The Contractor shall be responsible for construction means, methods, techniques, sequences, and safety precautions in connection with the work.

PROJECT NAME:
Alterations & Additions East Windsor Community Center

PROJECT ADDRESS:
28 Abbe Road
East Windsor, CT 06088

PROJ NO:
2021.33

ISSUE DATE:
9/20/2022

REVISION DATE:
△ 11-8-2023

DRAWING:
DOOR SCHEDULE & DETAILS

A10

11/8/2023 6:14:12 PM

CODES AND STANDARDS

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CONNECTICUT STATE BUILDING CODE (2021 INTERNATIONAL BUILDING CODE) EFFECTIVE OCTOBER 1, 2022 ALONG WITH AMENDMENTS.
2. THE LATEST EDITION OF THE FOLLOWING CODES SHALL APPLY TO THE WORK:
   A. ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
   B. ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS"
   C. AISC 360, "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN"
   D. AWS D1.1, "STRUCTURAL WELDING CODE"
   E. AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

GENERAL NOTES

1. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER CONSTRUCTION HAS BEEN COMPLETED. THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSE WORK, FORM WORK, STAGING, BRACING, SHEETING, SHORING, ETC. LACK OF COMMENT BY THE ENGINEER IS NOT TO BE INTERPRETED AS APPROVAL OF THOSE ASPECTS OF WORK.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS AND OTHER PROJECT DRAWINGS.
3. SOME DETAILS OF THE WORK ARE SHOWN ON THE PREENGINEERING METAL BUILDING DWGS. A CAREFUL REVIEW OF THESE DRAWINGS AND DETAILS WITH THE STRUCTURAL DRAWINGS ARE NECESSARY BEFORE THE FULL SCOPE OF THE WORK CAN BE UNDERSTOOD. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS AND/OR QUANTITIES AND FOR THE COORDINATION OF STRUCTURAL WORK WITH THE WORK OF ALL OTHER TRADES. REVIEW OF THE CONTRACTOR'S SUBMISSIONS DOES NOT RELIEVE CONTRACTOR FROM THESE RESPONSIBILITIES.
4. IF FAULTY CONSTRUCTION PROCEDURES OR MATERIALS RESULT IN DEFECTIVE WORK THAT REQUIRES ADDITIONAL ENGINEERING SERVICES TO DEVISE CORRECTIVE MEASURES, PROFESSIONAL FEES MAY BE CHARGED TO THE CONTRACTOR AT THE STANDARD HOURLY RATE FOR THE ADDITIONAL SERVICES.
5. HOLES OF ANY SIZE SHALL NOT BE DRILLED INTO STRUCTURAL MEMBERS, EXCEPT AS SHOWN ON STRUCTURAL DRAWINGS WITHOUT THE ACCEPTANCE OF THE ENGINEER.
6. IT IS INTENDED THAT ALL MEMBERS BE FABRICATED AND ERECTED FREE OF SHOP AND FIELD SPLICES UNLESS OTHERWISE SHOWN. IF FIELD CONDITIONS NECESSITATE THE NEED FOR FIELD SPLICING OF MEMBERS, SUBMIT LOCATIONS FOR ENGINEER'S ACCEPTANCE.

DESIGN LOADS / CRITERIA

1. FLOOR LIVE LOADS

LOCATION	LIVE LOAD
ROOF	20 PSF
CORRIDORS & PUBLIC ROOMS	100 PSF

2. ROOF SNOW LOAD:
   - GROUND SNOW LOAD = Pg = 30 PSF (EAST WINDSOR, CT)
   - FLAT ROOF SNOW LOAD = Pf = 0.7(Ce)(Ct)(I)(Pg) = 23.1 PSF - USE 30 PSF MIN.
   - SNOW EXPOSURE FACTOR = Ce = 1.0
   - SNOW LOAD IMPORTANCE FACTOR = I = 1.0
   - THERMAL FACTOR = Ct = 1.1
3. WIND LOAD (ASCE 7 - METHOD 1):
   - BASIC WIND SPEED FOR RISK CAT. II= V = 120 MPH (EAST WINDSOR, CT)
   - WIND EXPOSURE = B

EFFECTIVE WIND AREA	WALL / ROOF POSITIVE WIND PRESSURE	WALL NEGATIVE WIND PRESSURE (ZONES 4 & 5 - SUCTION)	ROOF NEGATIVE WIND PRESSURE (ZONES 1 /2 / 3 - SUCTION)
10 SQUARE FEET	30.4 / 12.4 PSF	-33.0 / -40.7 PSF	-30.4 / -51.0 / -76.8 PSF
20 SQUARE FEET	29.0 / 11.6 PSF	-31.6 / -38.0 PSF	-29.6 / -45.6 / -43.6 PSF
50 SQUARE FEET	27.2 / 10.6 PSF	-29.8 / -34.3 PSF	-28.6 / -38.4 / -46.3 PSF
100 SQUARE FEET	25.9 / 9.8 PSF	-28.4 / -31.6 PSF	-27.8 / -33.0 / -33.0 PSF
500 SQUARE FEET	22.7 / - PSF	-25.2 / -25.2 PSF	- / - / -

4. SEISMIC LOAD (ASCE 7 - EQUIVALENT LATERAL FORCE PROCEDURE)
   - SEISMIC IMPORTANCE FACTOR = Ie = 1.0
   - SPECTRAL RESPONSE ACCELERATIONS: S_s = 0.177, S_1 = 0.055 (EAST WINDSOR, CT)
   - SOIL SITE CLASS = D (PER WELTI GEOTECH REPORT)
   - SEISMIC DESIGN CATEGORY = B
   - BASIC SEISMIC-FORCE-RESISTING-SYSTEMS:
   - ORDINARY STRUCTURAL STEEL MOMENT FRAMES - R=3.5

FOUNDATION NOTES

1. THE FOUNDATIONS HAVE BEEN DESIGNED TO REST ON CONTROLLED STRUCTURAL FILL OVER VIRGIN SOILS HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 PSF (PER GEOTECH REPORT PROVIDED BY WELTI GEOTECHNICAL, P.C. DATED OCTOBER 25, 2023). SUCH BEARING STRATA IS ANTICIPATED AT THE BOTTOM OF FOOTING ELEVATIONS NOTED ON THE FOUNDATION PLAN. BOTTOM OF FOOTING PREPARATION SHALL BE ON A 8-INCH LATER OF 3/8" CRUSHED STONE ATOP A GEOTEXTILE BENEATH ALL FOOTING COMPACTED SELECT-FILL AND SHALL EXTEND OF THE FOOTING A DISTANCE EQUAL TO THE DEPTH BELOW THE FOOTING. NEW FOOTINGS ADJACENT TO EXISTING FOOTINGS SHALL BEAR AT THE SAME ELEVATION.
2. CONSTRUCTION OF NEW FOOTINGS SHALL ENSURE NO STANDING WATER IS PRESENT IN THE BOTTOM OF THE FOOTING EXCAVATION DURING CONCRETE PLACEMENT. NO FOOTINGS SHALL BE CONSTRUCTED ON FROZEN GROUND, AND/OR LOOSE/SOFT SOILS. ALL SUCH SOILS SHALL BE REMOVED AND REPLACED WITH CLEAN CRUSHED STONE OR ADDITIONAL CONCRETE.
3. THE BOTTOM OF EXTERIOR FOOTINGS AND INTERIOR FOOTINGS IN UNHEATED SPACES SHALL BE AT LEAST 3'-6" BELOW FINISHED GRADE FOR FROST PROTECTION.
4. ALL SOIL SURROUNDING AND UNDER FOOTINGS SHALL BE PROTECTED FROM FREEZING AND FROST HEAVE DURING THE COURSE OF CONSTRUCTION.
5. STEP FOOTINGS WHERE ELEVATIONS CHANGE AT A MAXIMUM SLOPE OF ONE VERTICAL PER TWO HORIZONTAL AND PLACE LOWER FOOTINGS FIRST.
6. FOUNDATION WALLS SHALL BE TEMPORARILY BRACED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE DURING CONSTRUCTION OPERATIONS. COORDINATE TEMPORARY SHORING, BRACING, AND STRUCTURAL SUPPORT WITH PROPOSED CONSTRUCTION.
7. IN AREAS REQUIRING FILL THE FILL MATERIAL SHALL BE A UNIFORMLY GRADED MIXTURE OF SAND AND GRAVEL. BACKFILL SHALL BE PLACED IN MAXIMUM LIFTS OF 8-INCHES BEFORE COMPACTION. EACH LIFT SHALL BE COMPACTED WITH APPROPRIATE EQUIPMENT TO A MINIMUM OF 95% OF ITS MAXIMUM DENSITY AT OR NEAR OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR). A SOILS TESTING LAB SHALL TEST THE FILL MATERIAL BEFORE AND AFTER COMPACTION FOR CONFORMANCE WITH THIS SPECIFICATION. DO NOT PLACE LIFTS WHEN WEATHER CONDITIONS ARE SUCH THAT THE MOISTURE CONTENT OF THE FILL CANNOT BE PROPERLY CONTROLLED.
8. DO NOT DAMAGE NOR DISPLACE CONCRETE WORK ALREADY IN PLACE BY CONTACT FROM COMPACTION MACHINERY BY SUBJECTING IT TO OVERTURNING FROM HEAVY COMPACTING LOADINGS OR ANY OTHER CAUSE WHEN PLACING AND COMPACTING FILL AND BACKFILL MATERIAL.
9. THE SUB-BASE BELOW SLABS-ON-GRADE SHALL BE AS INDICATED ON DRAWINGS. THE MATERIAL SHALL BE FREE FROM SOFT DISINTEGRATED PIECES, MUD, DIRT, ORGANICS, OR OTHER INJURIOUS MATERIALS.
10. PROVIDE A VAPOR BARRIER BENEATH SLABS-ON-GRADE CONFORMING TO ASTM E 1745 (CLASS A) MINIMUM SUCH AS 10-MIL STEGO WRAP BY STEGO INDUSTRIES (www.stegoindustries.com).

CAST-IN-PLACE CONCRETE NOTES

1. PROVIDE CONCRETE WITH THE FOLLOWING PROPERTIES IN THE LOCATIONS INDICATED:

LOCATION	STRENGTH (F'c)	AGGREGATE	WATER CONTENT
FOOTINGS AND FOUNDATION WALLS	4000 PSI	NORMAL WEIGHT	0.45 MAX.
PIERS AND PILASTERS	4000 PSI	NORMAL WEIGHT	0.45 MAX.
SLAB-ON-GRADE	5000 PSI	NORMAL WEIGHT	0.45 MAX.
ELEVATED SLABS	4000 PSI	LIGHT WEIGHT	0.45 MAX.

2. ALL CONCRETE FOUNDATIONS SHALL BE AIR-ENTRAINED. DO NOT AIR ENTRAIN SLABS-ON-GRADE. MAIN BUILDING LAB SHALL BE TREATED WITH A CONCRETE HARDENER.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WITH A MINIMUM YIELD STRENGTH OF 75 KSI. LAP WIRE MESH A MINIMUM OF 8-INCHES AND WIRE TOGETHER.
5. ALL DETAILING, FABRICATION, AND INSTALLATION OF REINFORCING STEEL SHALL COMPLY WITH THE LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", ACI 315.
6. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE PER SECTION 7.7.1 OF ACI 318, UNLESS OTHERWISE INDICATED ON SHOWN.
7. UNLESS OTHERWISE INDICATED, REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
8. CONCRETE SLABS SHALL BE PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN 7-DAYS BY USING A CURING COMPOUND CONFORMING TO ASTM C-309 OR BY WET BURLAP OR A PLASTIC MEMBRANE.
9. WELDING OF REINFORCING BARS IS NOT PERMITTED UNLESS APPROVED BY THE ENGINEER.
10. REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS OF BAR EMBEDMENT LENGTHS AND BAR SPLICE LENGTHS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
11. LOCATION OF CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS, CONFORMANCE WITH ACI 318, AND THE ACCEPTANCE OF THE ENGINEER.
12. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A82.

METAL DECK NOTES

1. STEEL DECK SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE CURRENT SPECIFICATION OF THE STEEL DECK INSTITUTE.
2. FORMED STEEL ROOF DECK (REFER TO PLAN):
   A. LS B-DECK, 20 GAGE, GALVANIZED PER ASTM A653-G90 BY VULCRAFT (OR APPROVED EQUIVALENT). FASTEN METAL FLOOR DECK IN A 36/4 PATTERN WITH 3/4" PUDDLE WELDS. FASTEN SIDE LAPS WITH 2 CONNECTORS PER SPAN. PERIMETER OF DECKING SHALL BE FASTENED TO FRAMING AT A MAXIMUM OF 12" o.c.
3. FORMED STEEL FLOOR DECK (REFER TO PLAN FOR LOCATION OF EACH TYPE):
   A. ~~1-1/2" TYPE PLB-LOW, 20 GAGE, COMPOSITE FLOOR DECK, GALVANIZED PER ASTM A653-G90 BY VULCRAFT (OR APPROVED EQUIVALENT). FASTEN METAL FLOOR DECK IN A 36/4 PATTERN WITH 3/4" PUDDLE WELDS. FASTEN SIDE LAPS WITH 2 CONNECTORS PER SPAN. PERIMETER OF DECKING SHALL BE FASTENED TO FRAMING AT A MAXIMUM OF 12" o.c.~~ OMIT
4. STEEL DECK SHALL BE SUPPLIED IN MINIMUM LENGTHS AS REQUIRED TO PROVIDE A "3-SPAN" CONDITION. END CLOSURES, ROOF SUMPS, CLOSURES AT PENETRATIONS, AND ALL OTHER ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION ARE REQUIRED.
   A. METAL CLOSURE STRIPS SHALL BE 18 GAUGE MINIMUM GALVANIZED SHEET STEEL OF THE SAME QUALITY AS THE DECK UNITS. FORM CLOSURE STRIPS TO THE CONFIGURATION REQUIRED TO PROVIDE TIGHT-FITTING CLOSURES AT OPEN ENDS OF FLUTES, BETWEEN DECK AND SUPPORTING BEAMS, AT OPEN DECK ENDS, AND AT SIDES OF DECKING.
5. FASTEN DECK TO THE SUPPORTING STRUCTURE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
6. STEEL DECKING MUST BE PROTECTED BEFORE AND AFTER ERECTION AND ALL DEBRIS CLEANED FROM ITS SURFACE WHERE CONCRETE WILL BE POURED OR ROOFING IS TO BE PLACED.
7. REINFORCEMENT AT OPENINGS: PROVIDE ADDITIONAL METAL REINFORCEMENT AND CLOSURE PIECES AS REQUIRED FOR STRENGTH, CONTINUITY OF DECKING, AND SUPPORT OF OTHER WORK. UNFRAMED OPENINGS LARGER THAN 6-INCHES SHALL BE REINFORCED TO THE EXTENT REQUIRED, BUT NOT LESS THAN:
   A. HOLES 6" TO 12" - 16 GAUGE FLAT STEEL SHEET EXTENDING 6" BEYOND HOLE ON ALL SIDES.
   B. HOLES 12" TO 18" - 1-3/4" X 3/16" ANGLE EXTENDING 16" BEYOND HOLE IN BOTH DIRECTIONS.
   C. WELD ALL REINFORCING TO TOP SIDE OF DECK.

COLD-FORMED METAL FRAMING NOTES

1. ALL STUDS AND ACCESSORIES SHALL BE FORMED FROM STEEL THAT CONFORMS TO THE REQUIREMENTS OF ASTM A1003 AND DC GALVANIZED TO G60 COATING. STUDS 18-GAGE AND BELOW HAVE A MINIMUM YIELD STRENGTH OF 33KSI. STUDS 16-GAGE AND ABOVE SHALL HAVE A MINIMUM YIELD STRENGTH OF 50KSI.
2. STUD AND TRACK SIZES ARE BASED ON SSMA SIZE DESIGNATIONS.
3. ALL FIELD CUTTING OF STUDS MUST BE DONE BY SAWING OR SHEARING. TORCH CUTTING OF COLD-FORMED MEMBERS IS UNACCEPTABLE.
4. NOTCHING OR COPING IS NOT PERMITTED UNLESS STATED OR SHOWN WITHIN SHOP DRAWINGS.
5. ENDS OF STUDS SHALL SEAT FIRMLY WITHIN TRACK WITH THE EXCEPTION OF DEFLECTION TRACK. TRACK MUST HAVE FULL BEARING ON STRUCTURE.
6. SPLICING OF WALL STUDS IS NOT PERMITTED UNLESS OTHERWISE STATED OR SHOWN WITHIN SHOP DRAWINGS.
7. ENSURE PUNCHOUT ALIGNMENT FOR LATERAL BRACING / BRIDGING. LATERAL BRACING / BRIDGING SHALL BE SPACED AT 48-INCHES ON-CENTER MAXIMUM. LATERAL BRACING / BRIDGING SHALL BE INSTALLED AT THE TIME THE WALL IS ERECTED. FAILURE TO INSTALL BRACING MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE FRAMING.
8. JOIST OR ROOF MEMBERS MUST BEAR DIRECTLY OVER WALL STUDS. OTHERWISE, A STRUCTURAL MEMBER (BY OTHERS) IS REQUIRED ON TOP OF RUNNER TRACK FOR PROPER BEARING AND ANCHORAGE. NO NOTCHING OR COPING OF JOISTS OR RAFTERS IS ALLOWED.
9. STUDS MUST BEAR DIRECTLY OVER SUPPORT FRAMING. OTHERWISE, A STRUCTURAL MEMBER (BY OTHERS) IS REQUIRED TO SUPPORT WALL STUDS.
10. ALL HEADERS / BUILT-UP BEAMS ARE TO BE CONSTRUCTED WITH UNPUNCHED MATERIAL ONLY. SPLICING OF HEADERS IS NOT PERMITTED.
11. ALL METAL TO METAL CONNECTIONS SHALL BE BASED ON SECTION E4 OF THE 2001 AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL FRAMING.
12. SCREWS: MAINTAIN A MINIMUM OF 3/4" CLEARANCE FROM ALL EDGES OF STEEL MEMBERS AND 3/4" MINIMUM ON-CENTER SPACING BETWEEN ADJACENT SCREWS.
13. POWDER DRIVEN FASTENERS, EXPANSION ANCHORS, ADHESIVE ANCHORING SYSTEMS SPECIFIED ARE BASED ON LITERATURE PUBLISHED BY HILTI, INC. (800-879-8000). APPROVED EQUIVALENT FASTENING SYSTEMS MAY BE PROPOSED FOR SUBSTITUTION. NOTIFY ENGINEER IF WELDED CONNECTIONS ARE PROPOSED.

STRUCTURAL STEEL NOTES

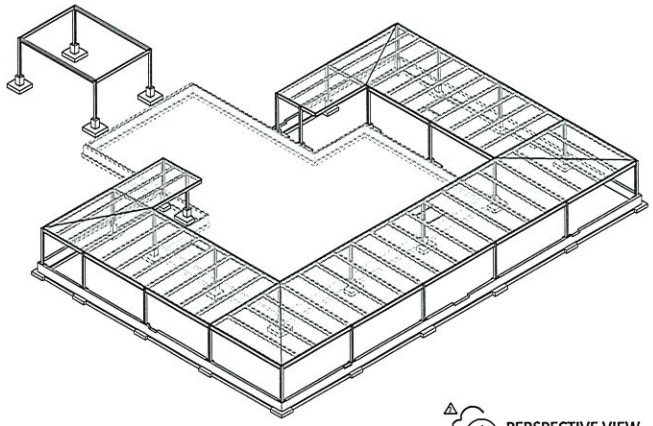
1. STRUCTURAL STEEL MATERIALS (U.O.N.):

W-SHAPES	ASTM A992
ANGLES, PLATES & BARS	ASTM A36
COLUMN BASE PLATES	ASTM A572, GRADE 50
HIGH STRENGTH BOLTS	ASTM A325
ANCHOR BOLTS	ASTM A36
WELDING ELECTRODE	ASTM E70XX (LOW HYDROGEN)

2. ALL WELDING SHALL BE PERFORMED ONLY BE WELDERS WHO ARE CERTIFIED AS PRESCRIBED IN THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE (AWS D1.1).
3. CONNECTIONS NOT SHOWN ARE TO BE DETAILED BY THE FABRICATOR FOR THE REACTIONS SHOWN OR NOTED IN ACCORDANCE WITH A.I.S.C. STANDARD SPECIFIED UNDER "CODES AND STANDARDS". DETAILS OF ALL CONNECTIONS MUST BE SHOWN ON SHOP DRAWINGS. THE FABRICATOR IS RESPONSIBLE FOR DESIGNING SHEAR & MOMENT CONNECTIONS FOR THE REACTIONS SHOWN OR NOTED AND SUBMITTED FOR REVIEW BY THE STRUCTURAL ENGINEER OF RECORD. THE REACTIONS SHOWN OR NOTED ARE "UNFACTORED" LOADS.
4. ALL BOLTED CONNECTIONS SHALL BE ASSEMBLED WITH ASTM A325, TENSION CONTROL FASTENERS FOR BEARING TYPE CONNECTIONS AND BE INSTALLED TO A "SNUG TIGHT CONDITION". ALL CONNECTIONS SHALL HAVE A MINIMUM OF 2 BOLTS (3/4" DIA.) UNLESS NOTED OTHERWISE.
5. WHERE NO REACTION IS SHOWN OR NOTED IN THE DRAWINGS, DESIGN CONNECTIONS TO CARRY THE VERTICAL REACTION INDICATED IN THE REACTION TABLE SHOWN IN THE TYPICAL STEEL DETAILS IN ACCORDANCE WITH A.I.S.C. REQUIREMENTS.
6. A HARDENED WASHER CONFORMING TO ASTM F436 SHALL BE INSTALLED ADJACENT TO THE BEARING FACE OF THE TURNED ELEMENT OF EACH ASTM A325 BOLT ASSEMBLY.
7. IF PARTS TO BE JOINED WITH FILLET WELDS CANNOT BE BROUGHT INTO DIRECT CONTACT, THE FILLET WELD SHALL BE INCREASED IN SIZE ABOVE THAT INDICATED IN THE DRAWINGS. THE INCREASED SIZE SHALL BE EQUAL TO OR GREATER THAN THE GAP.
8. STEEL FRAME SHALL BE ERECTED TRUE AND PLUMB WITHIN SPECIFIED TOLERANCES. PROVIDE TEMPORARY BRACING IN ADDITION TO MEMBERS SHOWN IN THE DRAWINGS IN ORDER TO SAFELY RESIST ALL IMPOSED LOADS APPLIED DURING CONSTRUCTION AND TO MAINTAIN CORRECT ALIGNMENT. DESIGN OF TEMPORARY SHORING, BRACING AND GUYING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ANCHOR BOLTS AND BASE PLATES SHALL BE LOCATED AND BUILT INTO CONNECTING WORK, PRESET BE TEMPLATES OR SIMILAR METHODS. ALL BASE PLATES SHALL BE GROUTED SOLID FOR FULL BEARING SUBSEQUENT TO COMPLETE ERECTION OF FRAMING WITHIN SPECIFIED TOLERANCES.
10. THE USE OF LEVELING PLATES IS PROHIBITED.
11. ALL STRUCTURAL STEEL SHALL BE CLEANED IN ACCORDANCE WITH THE STEEL STRUCTURES PAINTING COUNCIL SPECIFICATION SP-3-82 FOR POWER TOOL CLEANING AND PAINTED TO A MINIMUM DRY FILM THICKNESS OF 2 MILS WITH A SHOP COAT OF RUST INHIBITIVE PAINT. FIELD TOUCH-UP SHALL BE PROVIDED TO ALL COMPONENTS AT ALL POINTS OF DAMAGE AS A RESULT OF DELIVERY AND ERECTION, INCLUDING AREAS RECEIVING WELD AFTER COATING. FINISH STEEL IN ACCORDANCE WITH ARCHITECTS SPECIFICATIONS.
12. PROVIDE BITUMASTIC PROTECTION COATING FOR ALL STRUCTURAL STEEL BELOW GRADE.
13. FOR MISCELLANEOUS STEEL, REFER TO ARCHITECTURAL DRAWINGS.

SUBMITTALS

1. SUBMIT SAMPLES, SHOP DRAWINGS, PRODUCT DATA, TEST REPORTS AND DATA, MANUFACTURER'S NAMES, CERTIFICATES, AND PROCEDURES FOR ALL SPECIFIED ITEMS AND AS REQUESTED. SHOP DRAWINGS SHALL CONFORM TO THE BEST STANDARDS OF THE CONSTRUCTION INDUSTRY, AND SHALL BE PREPARED UNDER THE SUPERVISION OF COMPETENT ENGINEERING PERSONNEL.
2. CAST-IN-PLACE CONCRETE:
   A. SUBMIT REINFORCING STEEL PLACEMENT DRAWINGS INCLUDING APPLICABLE BAR LISTS AND BENDING SCHEDULES. INDICATE ALL LAP LENGTHS, LOCATIONS, AND CLEAR COVER OF REINFORCING STEEL ON THE PLACING PLANS / SHOP DRAWINGS. INCLUDE MILL TEST REPORTS FOR REINFORCING STEEL.
   B. SUBMIT CONCRETE MIX DESIGNS WITH MATERIAL CERTIFICATIONS FOR CEMENT AND PRODUCT DATA FOR ADMIXTURES.
3. STRUCTURAL STEEL:
   A. SUBMIT ERECTION DRAWINGS, INDEX SHEETS, CONNECTION DETAILS, AND PIECE DRAWINGS FOR FABRICATED STEEL. THE STEEL FABRICATOR SHALL BE AISC QUALITY CERTIFIED CATEGORY I OR 2 FOR STEEL STRUCTURES. SUBMIT CERTIFICATION WITH SHOP DRAWINGS. CONNECTION DESIGNS AND DETAILS SHALL BEAR THE SEAL OF A LICENSED NY STATE PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.
   B. SUBMIT CERTIFIED COPIES OF MILL TEST REPORTS FOR ALL STEEL FURNISHED AND MANUFACTURER'S CERTIFICATION OF BOLTS, WASHERS, AND FILLER MATERIAL FOR WELDING UPON REQUEST.
4. COLD-FORMED METAL FRAMING:
   A. SUBMIT COMPLETE ERECTION DRAWINGS FOR COLD-FORMED METAL FRAMING. INDICATE FIELD CONNECTION DATA COMPLETE WITH DETAILS OF CONNECTIONS AND FASTENERS. SHOP DRAWINGS SHALL BEAR THE SEAL OF A CT LICENSED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.



1 / S-1 PERSPECTIVE VIEW
NO SCALE

Stephen Jager, AIA
JAGER ARCHITECTS LLC
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjal@aol.com

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PVE
PVE Engineering, LLC.
160 Trumbull Street - 3rd Floor
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

STATE OF CONNECTICUT
ANTHONY J. PAPA
PROFESSIONAL ENGINEER

PROJECT NAME:
ALTERATIONS & ADDITIONS
EAST WINDSOR COMMUNITY CENTER

PROJECT ADDRESS:
28 ABBE ROAD
EAST WINDSOR, CT 06088

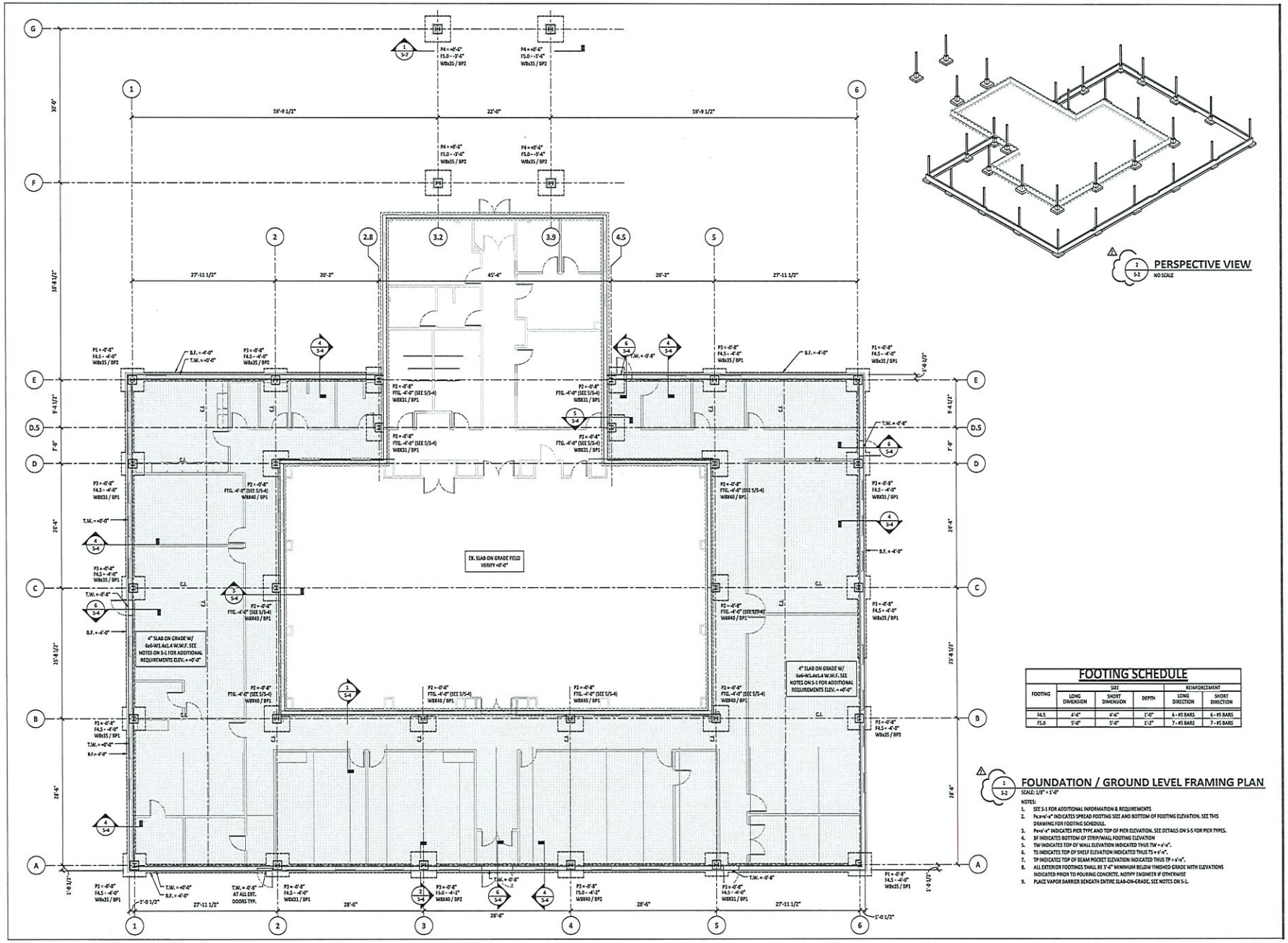
PROJ NO:
22051

ISSUE DATE:
07/08/2022

REVISION DATE:
1. 09/20/2022 ISSUED FOR PERMIT
2. 11/08/2023 GENERAL REVISIONS

DRAWING
GENERAL NOTES & DESIGN CRITERIA & TYPICAL DETAILS

S-1



2 / S-2 **PERSPECTIVE VIEW**
NO SCALE

FOOTING SCHEDULE

FOOTING	SIZE			REINFORCEMENT	
	LONG DIMENSION	SHORT DIMENSION	DEPTH	LONG DIRECTION	SHORT DIRECTION
F4.5	4'-6"	4'-6"	1'-0"	6 - #5 BARS	6 - #5 BARS
F5.0	5'-0"	5'-0"	1'-2"	7 - #5 BARS	7 - #5 BARS

1 / S-2 **FOUNDATION / GROUND LEVEL FRAMING PLAN**
SCALE: 1/8" = 1'-0"

NOTES:
1. SEE S-1 FOR ADDITIONAL INFORMATION & REQUIREMENTS
2. Pa.xw'-x" INDICATES SPREAD FOOTING SIZE AND BOTTOM OF FOOTING ELEVATION. SEE THIS DRAWING FOR FOOTING SCHEDULE.
3. Pw-x'-x" INDICATES PIER TYPE AND TOP OF PIER ELEVATION. SEE DETAILS ON S-5 FOR PIER TYPES.
4. BF INDICATES BOTTOM OF STRIP/WALL FOOTING ELEVATION
5. TW INDICATES TOP OF WALL ELEVATION INDICATED THUS TW = x'-x".
6. TS INDICATES TOP OF SHELF ELEVATION INDICATED THUS TS = x'-x".
7. TP INDICATES TOP OF BEAM POCKET ELEVATION INDICATED THUS TP = x'-x".
8. ALL EXTERIOR FOOTINGS SHALL BE 3'-6" MINIMUM BELOW FINISHED GRADE WITH ELEVATIONS INDICATED PRIOR TO POURING CONCRETE. NOTIFY ENGINEER IF OTHERWISE
9. PLACE VAPOR BARRIER BENEATH ENTIRE SLAB-ON-GRADE. SEE NOTES ON S-1.

Stephen Jager, AIA
JAGER ASSOCIATES
4 Grand View Drive Enfield, CT 06082
860-805-1265 sjal@aol.com

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PVE Engineering, LLC.
160 Trumbull Street - 3rd Floor
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

STATE OF CONNECTICUT ANTHONY J. PAPA 29845 LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
ALTERATIONS & ADDITIONS
EAST WINDSOR COMMUNITY CENTER

PROJECT ADDRESS:
28 ABBE ROAD
EAST WINDSOR, CT 06088

PROJ NO:
22051

ISSUE DATE:
07/08/2022

REVISION DATE:
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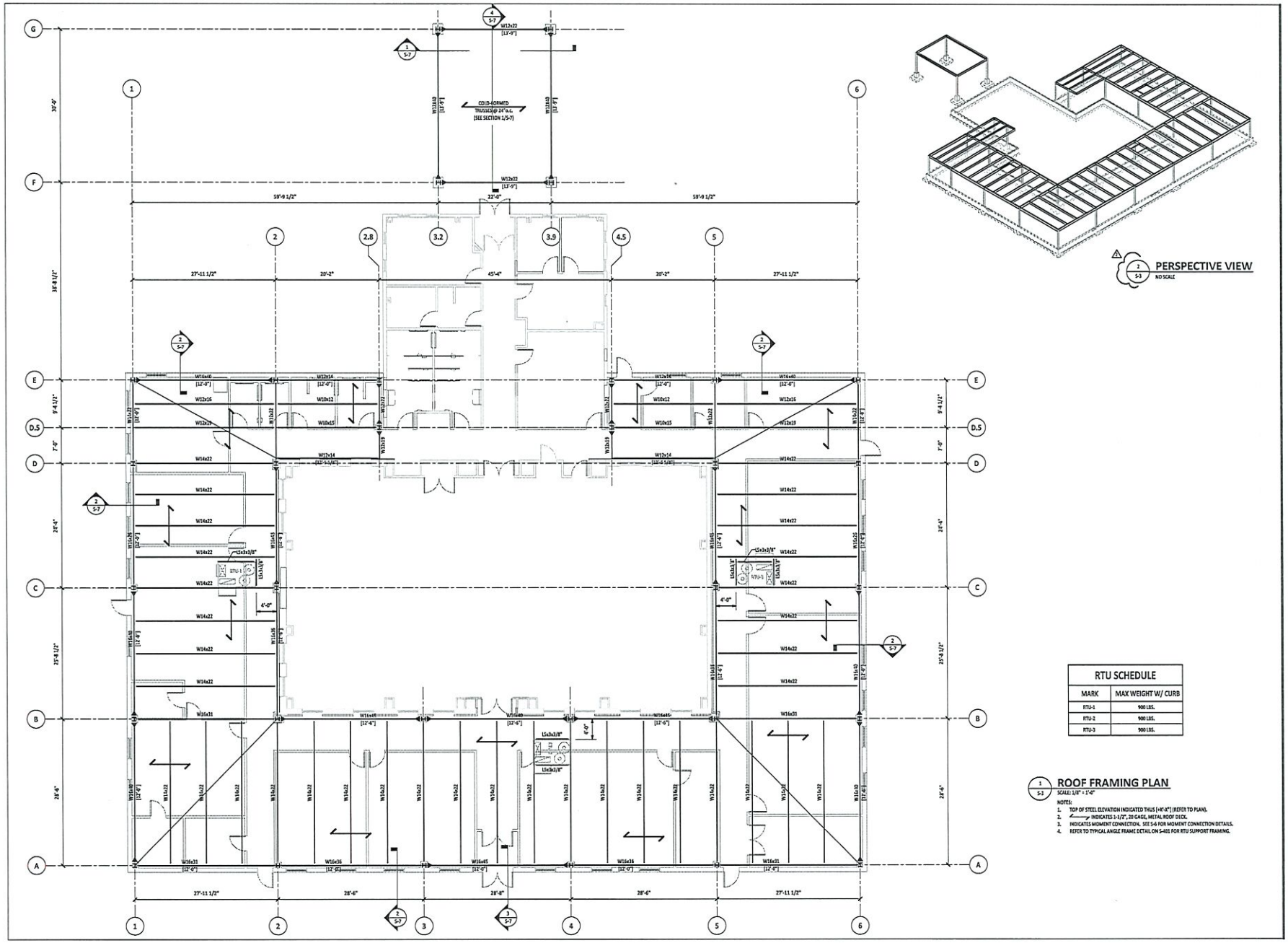
DRAWING
FOUNDATION AND GROUND LEVEL FRAMING PLAN

S-2



PERSPECTIVE VIEW
NO SCALE

RTU SCHEDULE	
MARK	MAX WEIGHT W/ CURB
RTU-1	900 LBS.
RTU-2	900 LBS.
RTU-3	900 LBS.

ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

NOTES:
1. TOP OF STEEL ELEVATION INDICATED THUS [+8'-X"] (REFER TO PLAN).
2. ⟵ INDICATES 1-1/2", 20 GAGE, METAL ROOF DECK.
3. INDICATES MOMENT CONNECTION. SEE S-6 FOR MOMENT CONNECTION DETAILS.
4. REFER TO TYPICAL ANGLE FRAME DETAIL ON S-401 FOR RTU SUPPORT FRAMING.

Stephen Jager, AIA
JAGER ASSOCIATES, LLC
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjal@aol.com

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860.522.3970
860.522.3971 - fax

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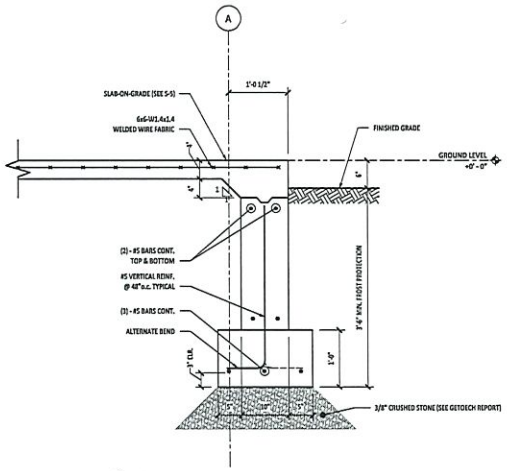
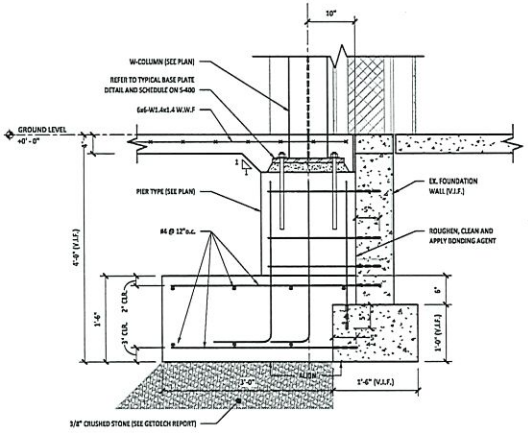
DRAWING
ROOF FRAMING PLAN

S-3

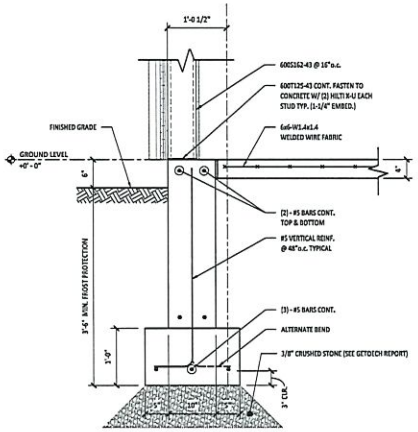


6 / S-4 SECTION AT DOOR OPNGS.
SCALE: 1" = 1'-0"

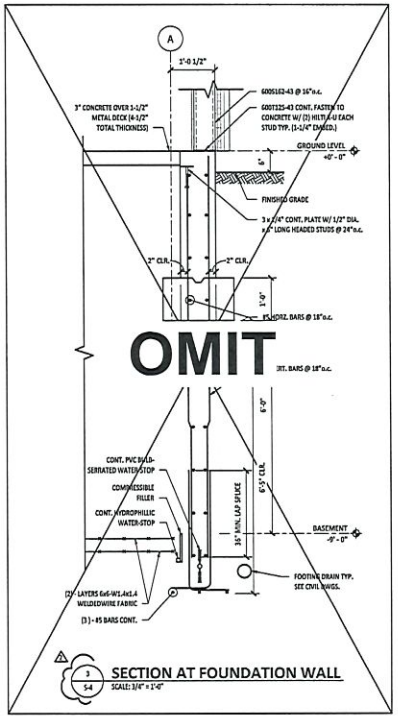


NOTE: REINFORCEMENT DOWELS SHALL BE DRILLED INTO EX. FROST WALL AND FOOTING. DOWELS SHALL BE ANCHORED W/ HILTI HIT HY200 MAX (5" MIN. EMBED.) CLEAN DRILLED HOLES PRIOR TO ANCHORING REINF. BARS W/ EPOXY ADHESIVE.

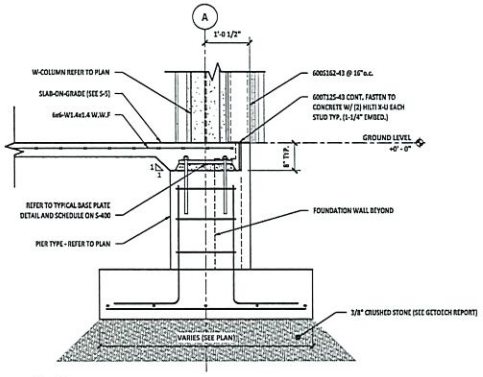
5 / S-4 SECTION AT PIER TO EX. FOUNDATION
SCALE: 1" = 1'-0"



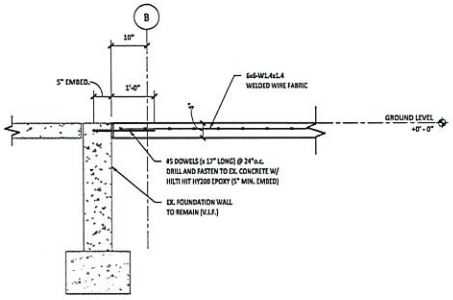
4 / S-4 SECTION AT FOUNDATION WALL
SCALE: 1" = 1'-0"



3 / S-4 SECTION AT FOUNDATION WALL
SCALE: 3/4" = 1'-0"



2 / S-4 SECTION AT FOUNDATION PIER
SCALE: 3/4" = 1'-0"



1 / S-4 SECTION AT EXISTING FOUNDATION
SCALE: 3/4" = 1'-0"

Stephen Jager, AIA
JAGER
ARCHITECTURE
4 Grand View Drive Enfield, CT 06082
860-803-1265 ejsl@aol.com

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PVE
PVE Engineering, LLC.
160 Trumbull Street - 3rd Floor
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

STATE OF CONNECTICUT
ANTHONY J. PAPPA
LICENSED
PROFESSIONAL ENGINEER

PROJECT NAME:
ALTERATIONS & ADDITIONS
EAST WINDSOR COMMUNITY
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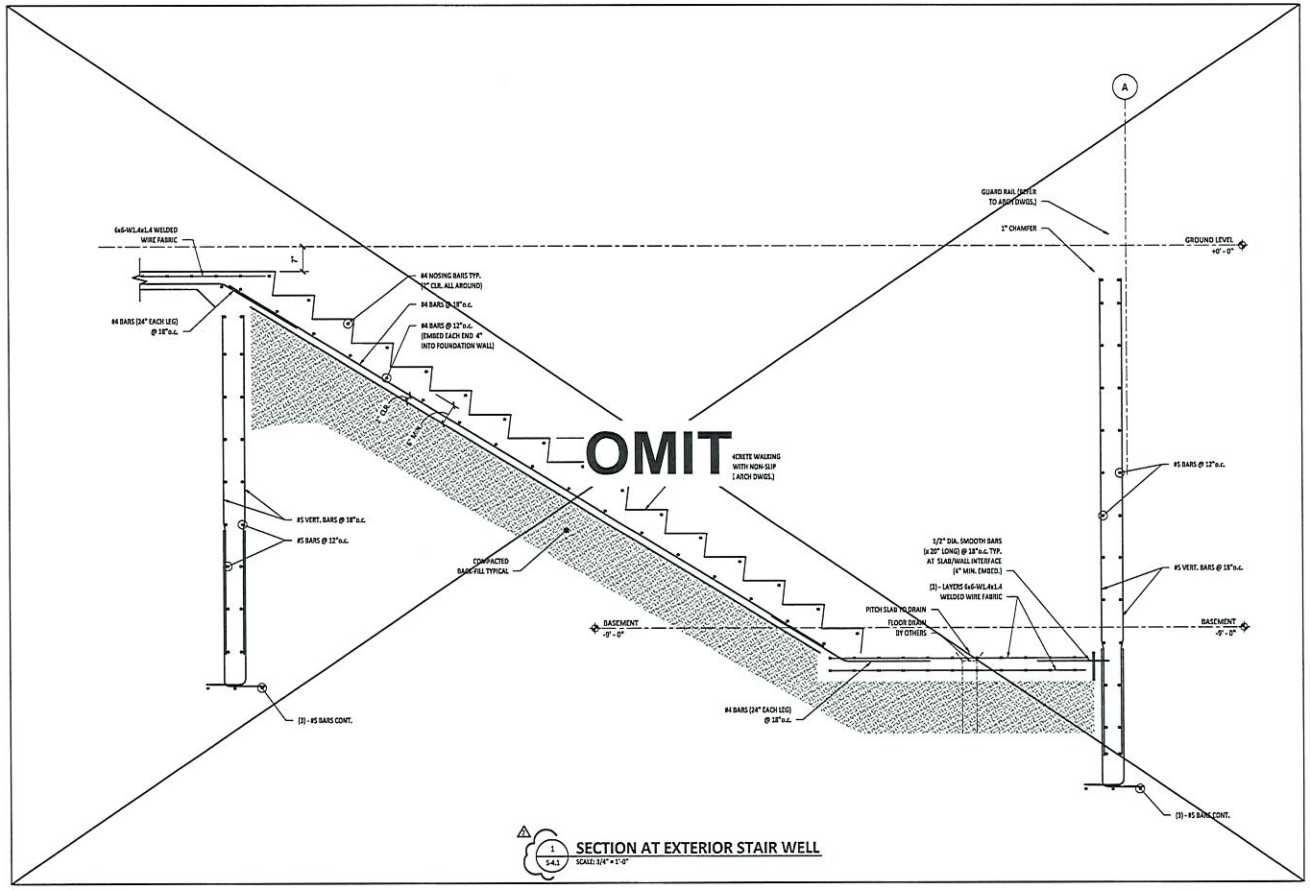
DRAWING
FOUNDATION
SECTIONS

S-4



1 S-4.1 **SECTION AT EXTERIOR STAIR WELL**
SCALE: 3/4" = 1'-0"

Stephen Jager, AIA
JAGER ASSOCIATES, LLC
4 Grand View Drive Enfield, CT 06082
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860.522.3971 - fax

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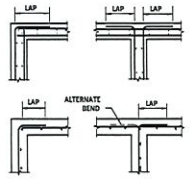
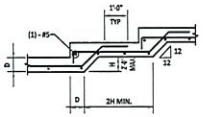
DRAWING
FOUNDATION SECTIONS

S-4.1



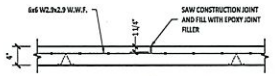
WALL/FOOTING INTERSECTIONS

LAP = 40 BAR DIA. (24" MIN.)



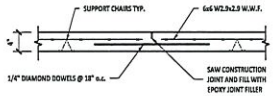
STEPPED WALL FOOTING

TYPICAL FOUNDATION DETAILS

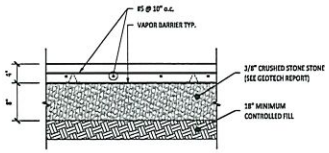


NOTE: CONTROL JOINTS SHALL BE LOCATED ON COLUMN LINES OR AS SHOWN

CONTROL JOINT



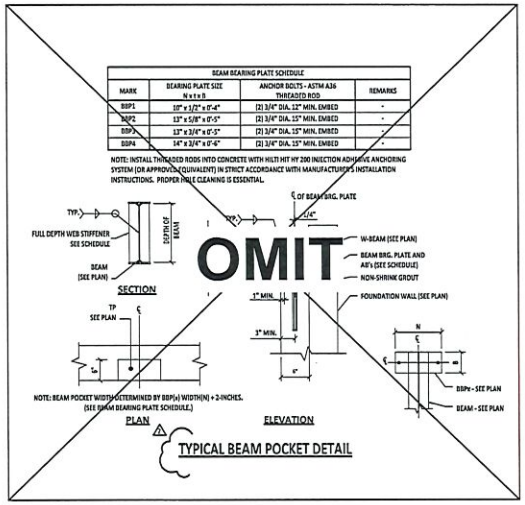
CONSTRUCTION JOINT



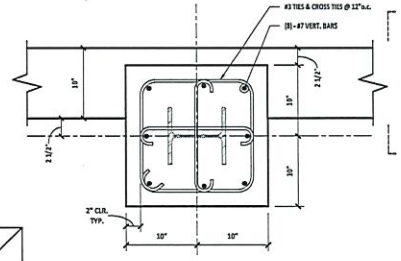
TYPICAL SLAB PROFILE

NOTES:
1. PROVIDE CHAIRS TO MAINTAIN SLAB REINFORCING AT ELEVATIONS SHOWN.

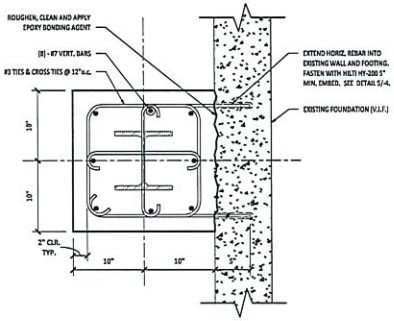
TYPICAL SLAB-ON-GRADE SECTIONS



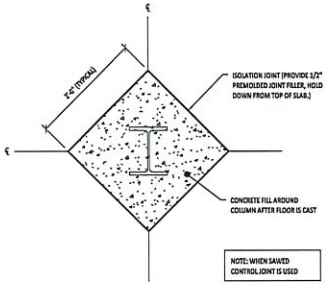
TYPICAL BEAM POCKET DETAIL



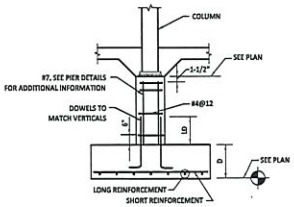
3 / S-5 PIER TYPE P3
SCALE: 1 1/2" = 1'-0"



2 / S-5 PIER TYPE P2
SCALE: 1 1/2" = 1'-0"



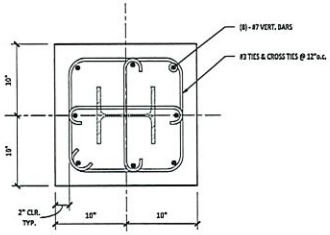
TYP. ISOLATION JOINT AT COLUMN



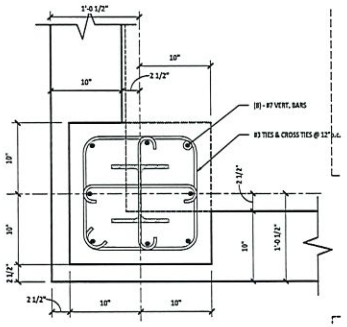
EXTERIOR SECTION

NOTES:
1. SEE COLUMN FOOTING SCHEDULE FOR DIMENSIONS AND REINFORCEMENT. ELEVATIONS SHOWN IN PLANS AND/OR DETAILS ARE BOTTOM OF FOOTING ELEVATIONS. FOOTINGS SHALL BE LOWERED WHERE ACTUAL SOIL BEARING CAPACITY REQUIRES A LOWER ELEVATION. REFER TO GEOTECHNICAL REPORT.
2. COLUMN AND FOOTING CENTERLINES SHALL COINCIDE UNLESS OTHERWISE SHOWN.

COLUMN FOOTING TYPICAL DETAILS



4 / S-5 PIER TYPE P4
SCALE: 1 1/2" = 1'-0"



1 / S-5 PIER TYPE P1
SCALE: 1 1/2" = 1'-0"

Stephen Jager, AIA
JAGER ASSOCIATES LLC
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjal@aol.com

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Hartford, CT 06103
860.522.3970
860.522.3971 - fax

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ALTERATIONS & ADDITIONS
EAST WINDSOR COMMUNITY CENTER

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28 ABBE ROAD
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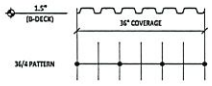
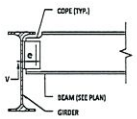
DRAWING
PIER TYPES & TYPICAL CONCRETE DETAILS

S-5

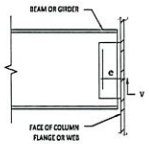


NOTE: FASTEN SIDE LAPS W/ (3) #10 TEK SCREWS PER SPAN

TYPICAL DECK FASTENER LAYOUT



TYPICAL BEAM TO GIRDER CONNECTION



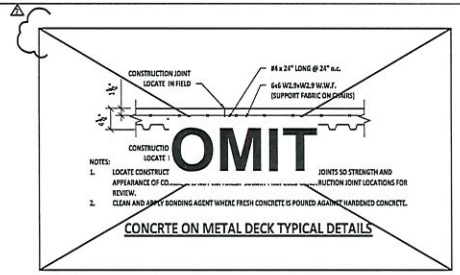
TYPICAL BEAM OR GIRDER TO COLUMN CONNECTION

NOTES:

1. CONNECTIONS MAY BE BOLTED OR WELDED AT CONTRACTORS OPTION.
2. CONNECTION FOR BEAMS TO BE PROPORTIONED TO DELIVER THEIR END REACTIONS TO THE CENTER OF GRAVITY OF THE MEMBER TO WHICH THEY FRAME.
3. PROPORTION CONNECTION FOR SHEAR, V (SEE TABLE) AND MOMENT, M=Ve, WHERE E IS DEFINED AS DISTANCE TO CENTER OF GRAVITY OF WELD OR BOLT GROUP TO CENTERLINE OF SUPPORTING MEMBER UNLESS OTHERWISE SHOWN OR NOTED.
4. WHERE STANDARD AISC DOUBLE ANGLE CONNECTIONS ARE UTILIZED, MOMENT, M=Ve, MAY BE DISREGARDED.

NOMINAL DEPTH OF BEAM OR GIRDER	MIN. NUMBER OF ROWS	MIN. VERTICAL REACTION - V, (KIPS)	
		CONNECTED TO BEAM OR GIRDER	CONNECTED TO COLUMN
8	2	14	24
10	2	18	24
12	3	20	36
14, 15, 16	4	36	50
18	4	50	75
21, 24	5	62	90

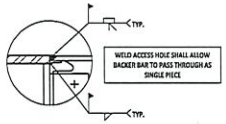
TYPICAL SHEAR CONNECTIONS



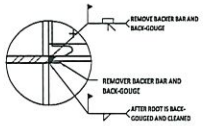
NOTES:

1. LOCATE CONSTRUCT [illegible] JOINTS SO STRENGTH AND APPEARANCE OF CO[illegible] RUCTION JOINT LOCATIONS FOR REVIEW.
2. CLEAN AND APPLY BONDING AGENT WHERE FRESH CONCRETE IS POURED AGAINST HARDENED CONCRETE.

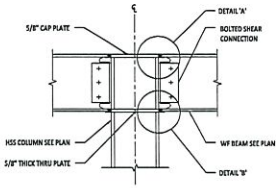
CONCRTE ON METAL DECK TYPICAL DETAILS



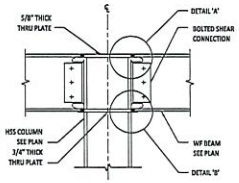
DETAIL 'A'



DETAIL 'B'



TOP OF COLUMN

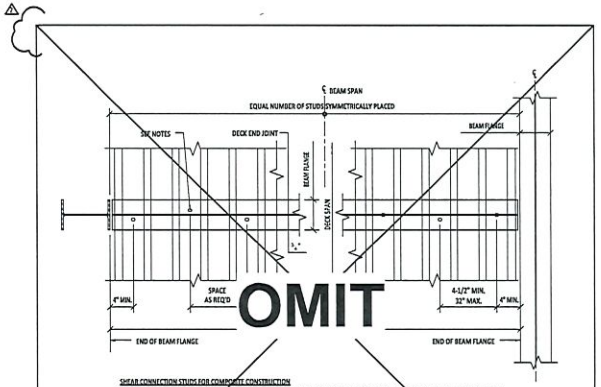


TOP OF COLUMN

NOTES:

1. MOMENT CONNECTIONS ARE DENOTED ▶ IN PLAN.
2. PROPORTION FLANGE CONNECTIONS FOR FORCE P = M/(BEAM DEPTH)
3. M = FULL MOMENT CAPACITY OF BEAM OR GIRDER UNLESS OTHERWISE NOTED OR SHOWN.
4. PROPORTION CONNECTIONS AND CONNECTION PLATES WITHOUT AN ALLOWABLE STRESS INCREASE.

TYPICAL MOMENT CONNECTION DETAIL



SHEAR CONNECTION STUDS FOR COMPOSITE CONSTRUCTION

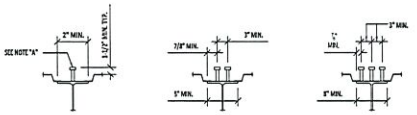
STUDS SHALL BE TYPE S3L, 3/4" DIA. AS MANUFACTURED BY NELSON STUD DIVISION, OR APPROVED EQUAL. STUDS SHALL HAVE PROPER FERRULES FOR WELD-THRU DECK APPLICATIONS. STUDS, AFTER WELDING, SHALL PROJECT A MINIMUM OF 1-1/2" ABOVE TOP OF METAL DECK AND THERE SHALL BE A MINIMUM OF 3/4" CONCRETE COVER ABOVE STUDS. STUDS SHALL BE WELDED PER MANUFACTURERS RECOMMENDATIONS.

STUDS SHALL BE PLACED IN THE BOTTOM FLUTE OF THE METAL DECK ACCORDING TO DETAILS SHOWN HERE.

FOR DECK ATTACHMENT TO BEAMS, SEE GENERAL NOTES AND SPECIFICATIONS. WELDED SHEAR STUDS MAY BE CONSIDERED A DECK ATTACHMENT.

THE TOTAL NUMBER OF STUDS SHOWN ON THE FRAMING PLANS AND INDICATED IN PARENTHESIS THUS (XX) SHALL BE UNIFORMLY PLACED ALONG THE LENGTH OF THE BEAM. THERE SHALL BE AN EQUAL NUMBER OF STUDS PLACED EACH SIDE OF THE BEAM CENTERLINE TO THE BEAM ENDS.

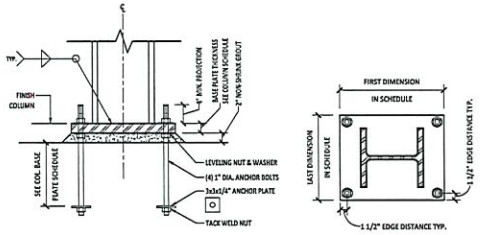
PLAN STUDS FOR BEAM PERPENDICULAR TO METAL DECK SPANS



STUDS SHALL NOT BE PLACED CLOSER THAN 7/8" FROM THE EDGE OF BEAM FLANGE, NOR BE CLOSER THAN 3/4" FROM THE EDGE OF THE METAL DECK. ALLOW A MINIMUM OF 3" ON CENTER BETWEEN STUDS IN A STUD ROW. USE SINGLE ROW, 2 ROWS, OR 3 ROWS OF STUDS, OR COMBINATIONS OF THESE IN THE METAL DECK BOTTOM FLUTES TO OBTAIN THE REQUIRED NUMBER OF STUDS.

NOTE "A": STUDS SHALL BE ATTACHED DIRECTLY OVER THE BEAM WEB UNLESS THE BEAM FLANGE THICKNESS IS 0.30" OR THICKER.

SHEAR CONNECTOR STUDS FOR COMPOSITE CONSTRUCTION

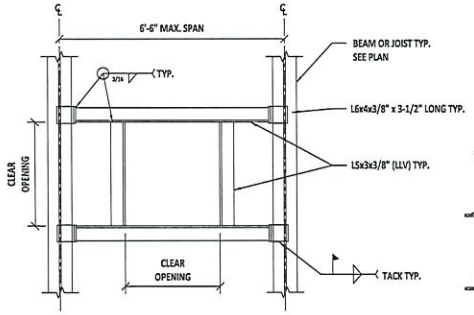


COLUMN BASE PLATE SCHEDULE			
MARK	BASE PLATE SIZE N x B x t	ANCHOR BOLTS - ASTM A36 THREADED ROD	EDGE DISTANCE
BP1	14" x 3/4" x 0'-10"	(4) 3/4" DIA. 15" MIN. EMBED	1-1/2"
BP2	15" x 1" x 0'-10"	(4) 1" DIA. 18" MIN. EMBED	1-1/2"

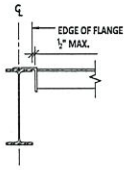
NOTES:

1. ALL ANCHOR BOLTS SHALL BE ASTM A36 THREADED ROD.
2. SET ANCHOR BOLTS IN ACCORDANCE WITH APPROVED SHOP DRAWINGS. ANCHOR BOLT TOLERANCES SHALL BE IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS.
3. DIAMETER OF HOLES IN BASE PLATES MAY BE OVERSIZED BY 5/16" MAX. LARGER HOLES WILL REQUIRE 3"x3"x5/16" PLATE WASHERS
4. STEEL FABRICATOR SHALL CONFIRM AS-BUILT LOCATION OF ANCHOR BOLTS PRIOR TO FABRICATION OF COLUMN BASE PLATES. NOTIFY ENGINEER OF LOCATIONS EXCEEDING SPECIFIED TOLERANCES.

TYPICAL COLUMN BASE PLATE DETAILS



PLAN

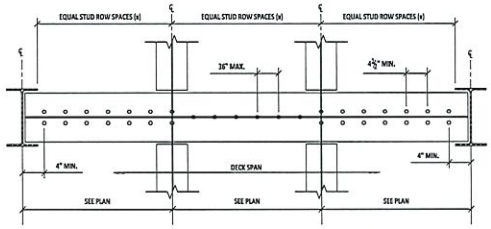


SECTION

NOTES:

1. PROVIDE FRAME AT ALL ROOF DRAINS AND ROOF PENETRATIONS WHERE FRAMING MEMBERS ARE NOT INDICATED.
2. MAXIMUM WEIGHT SUPPORTED BY FRAME INDICATED IN PLAN. NOTIFY ENGINEER IF OTHERWISE.
3. COORDINATE FINAL LOCATION AND SIZE OF FRAME WITH APPROPRIATE TRADE.
4. PROVIDE 20 GAGE BENT DECK CLOSURE PLATE AROUND OPENING PERIMETER.
5. FASTEN DECKING TO ROOF FRAME AT 12" o.c. TYP.

TYPICAL ANGLE FRAME OPENING



THE NUMBER OF STUDS SHOWN ON THE FRAMING PLANS AND INDICATED THUS (X-X-X) SHALL BE PLACED UNIFORMLY BETWEEN EACH PERPENDICULAR FRAMING MEMBER.

PLAN STUDS FOR BEAMS PARALLEL TO METAL DECK SPANS

Stephen Jager, AIA
JAGER ASSOCIATES
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjal@aol.com

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PVE Engineering, LLC.
160 Trumbull Street - 3rd Floor
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

PROJECT NAME:
ALTERATIONS & ADDITIONS EAST WINDSOR COMMUNITY CENTER

PROJECT ADDRESS:
28 ABBE ROAD
EAST WINDSOR, CT 06088

PROJ NO:
22051

ISSUE DATE:
07/08/2022

REVISION DATE:

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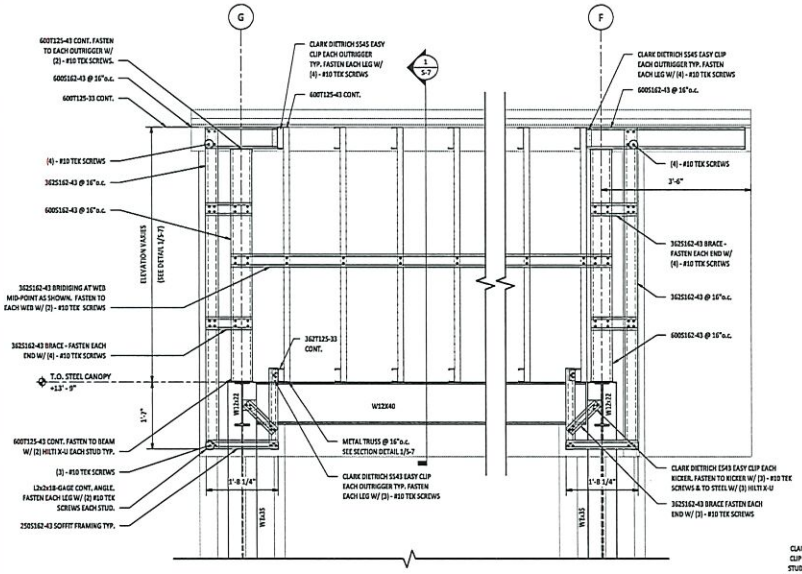
2. 11/08/2023 GENERAL REVISIONS

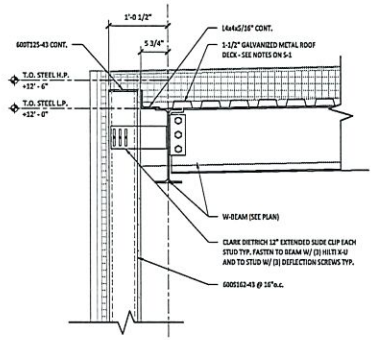
DRAWING

TYPICAL STEEL DETAILS

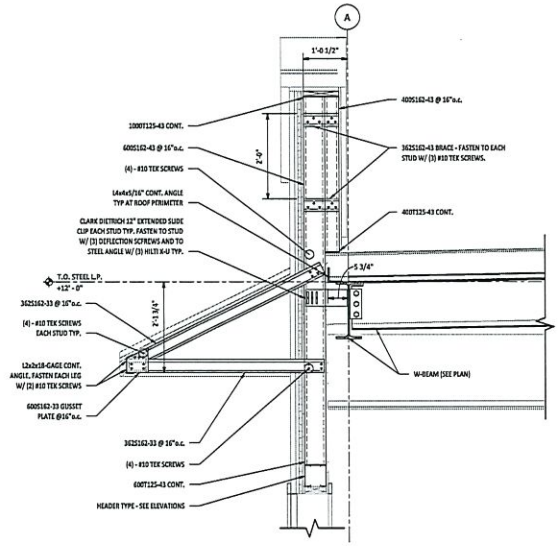
S-6



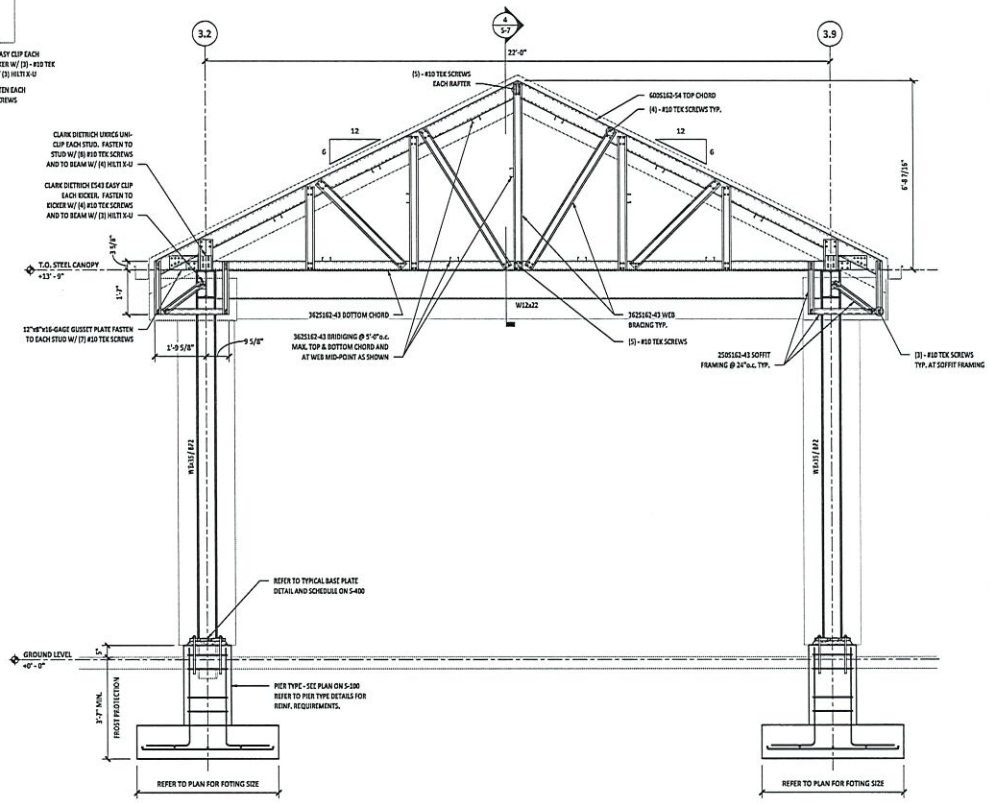
4 / S-7 **SECTION AT PORT COCHERE**
SCALE: 3/4" = 1'-0"



2 / S-7 **SECTION AT ROOF FRAMING**
SCALE: 1" = 1'-0"



3 / S-7 **SECTION AT PARAPET**
SCALE: 3/4" = 1'-0"



1 / S-7 **SECTION AT PORT COCHERE**
SCALE: 1/2" = 1'-0"

Stephen Jager, AIA
JAGER ASSOCIATES LLC
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjal@aol.com

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Hartford, CT 06103
860.522.3970
860.522.3971 - fax

STATE OF CONNECTICUT ANTHONY J. PAPA 29040 LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
ALTERATIONS & ADDITIONS
EAST WINDSOR COMMUNITY CENTER

PROJECT ADDRESS:
28 ABBE ROAD
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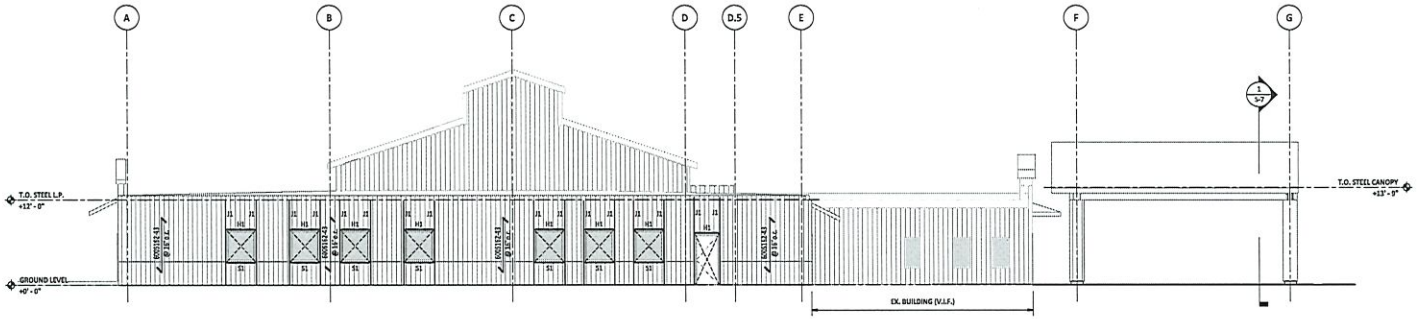
SECTION DETAILS

S-7



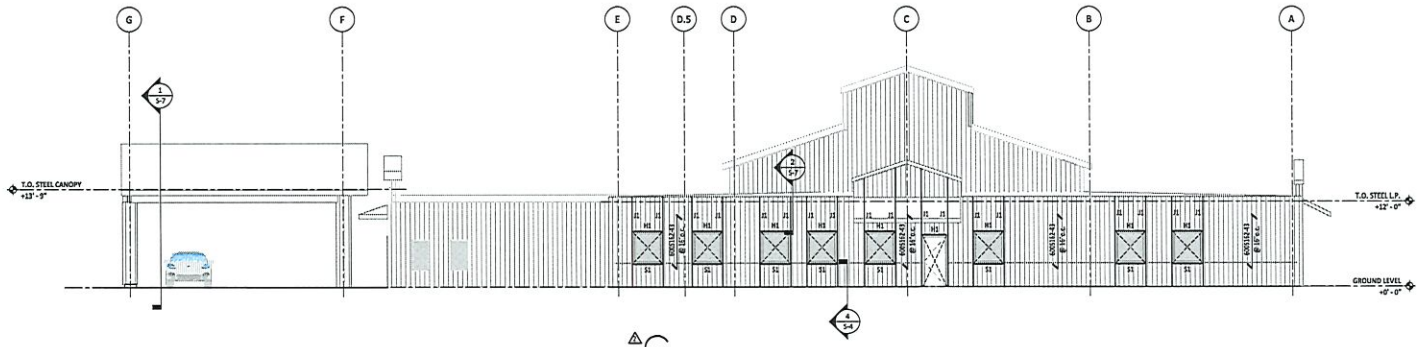
EAST ELEVATION

1 / 5-8

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL WALL STUDS SHOULD BE BRACED W/ LATERAL BRACING. SEE DETAILS ON S-10.
2. Hx INDICATES HEADER TYPE. SEE HEADER TYPE AND DETAILS ON SHEET S-10.
3. Jx INDICATES JAMB TYPE. SEE JAMB TYPE AND DETAILS ON SHEET S-10.
4. Sx INDICATES SILL TYPE. SEE SILL TYPE AND DETAILS ON SHEET S-10.



WEST ELEVATION

1 / 5-8

SCALE: 1/8" = 1'-0"

NOTES:

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3. Jx INDICATES JAMB TYPE. SEE JAMB TYPE AND DETAILS ON SHEET S-10.
4. Sx INDICATES SILL TYPE. SEE SILL TYPE AND DETAILS ON SHEET S-10.

Stephen Jager, AIA

JAGER ASSOCIATES, P.C.

4 Grand View Drive Enfield, CT 06082
860-803-1265 sjai@aol.com

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PVE

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160 Trumbull Street - 3rd Floor
Hartford, CT 06103
860.522.3970
860.522.3971 - fax

STATE OF CONNECTICUT
ANTHONY J. PAPA
LICENSED
PROFESSIONAL ENGINEER

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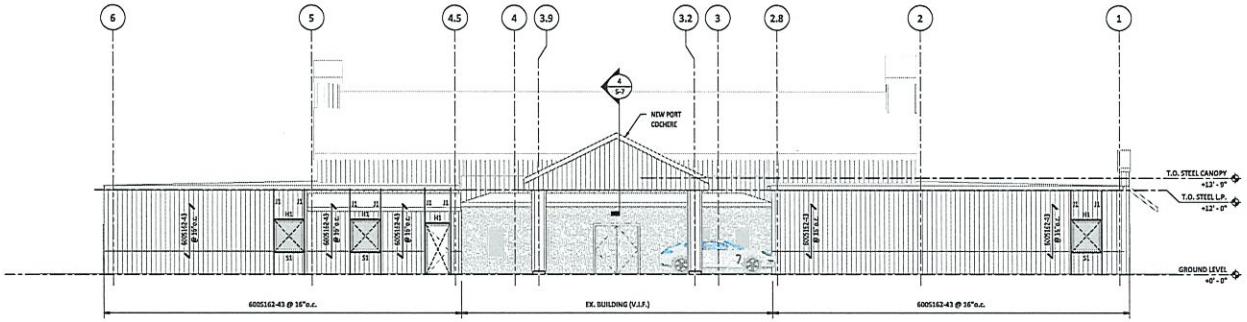
ELEVATIONS

S-8



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL WALL STUDS SHOULD BE BRACED W/ LATERAL BRACING. SEE DETAILS ON S-10.
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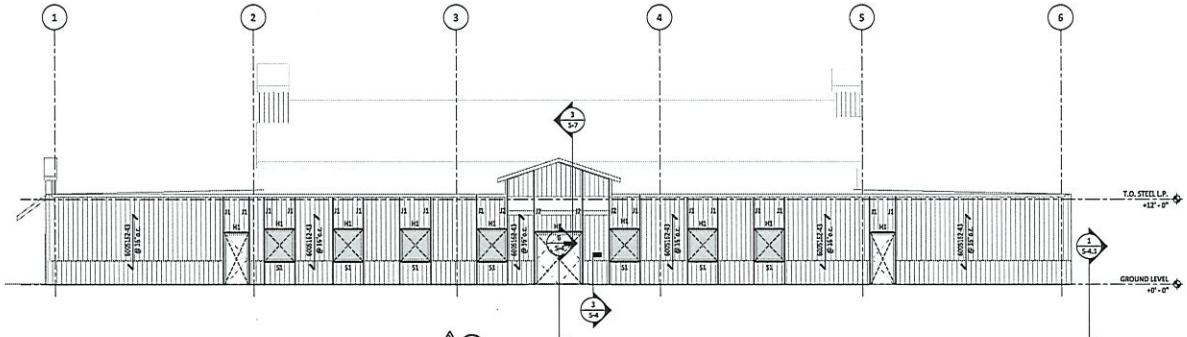
3. Jx INDICATES JAMB TYPE. SEE JAMB TYPE AND DETAILS ON SHEET S-10.
4. Sx INDICATES SILL TYPE. SEE SILL TYPE AND DETAILS ON SHEET S-10.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

NOTES:

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Stephen Jager, AIA
JAGER ASSOCIATES, LLC
4 Grand View Drive Enfield, CT 06082
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Hartford, CT 06103
860.522.3970
860.522.3971 - fax

STATE OF CONNECTICUT
ANTHONY J. PAPA
PACENTRO
LICENSED PROFESSIONAL ENGINEER

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ALTERATIONS & ADDITIONS
EAST WINDSOR COMMUNITY CENTER

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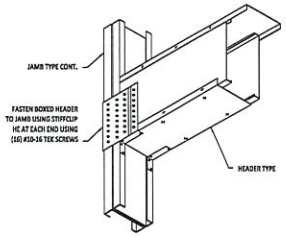
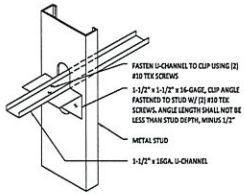
ELEVATIONS

S-9

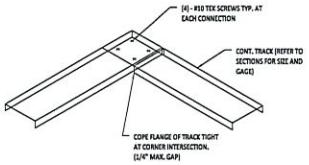


JAMB AND HEADER DETAIL

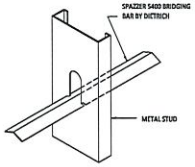


NOTE: ENSURE PUNCHOUT ALIGNMENT FOR LATERAL BRACING / BRIDGING. LATERAL BRACING / BRIDGING SHALL BE SPACED AT 48-INCHES ON-CENTER MAX. FAILURE TO INSTALL BRACING MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE FRAMING.

COLD-ROLLED BRIDGING W/ CLIP ANGLE
(ALTERNATE)

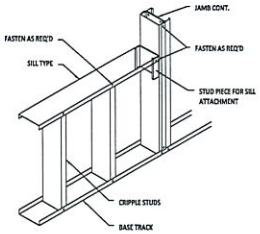


TYP. TRACK CORNER CONNECTION DETAIL
NOTE: WALL STUDS NOT SHOWN FOR CLARITY



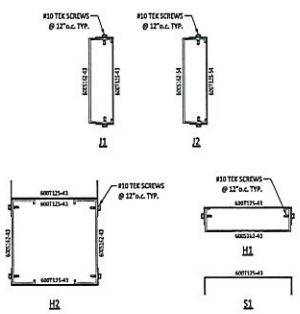
BRIDGING BAR DETAIL

TYP. LATERAL BRIDGING DETAILS
(FOR STUDS 8" & LESS)

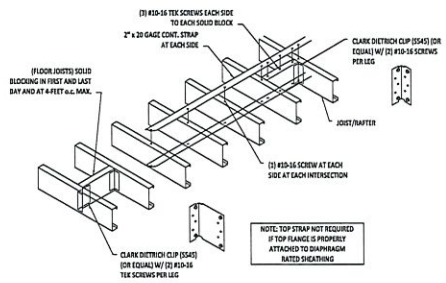


TYP. JAMB AND SILL DETAIL

JAMB & HEADER CONNECTION SCHEDULE	
HDR / JAMB TYPE	CONNECTION DETAILS
J1 / J2	FASTEN JAMB TOP W/ DIETRICH FS CLIP ON ONE SIDE. FASTEN TO STEEL W/ (3) HILTI X-U AND TO STUD W/ (3) DEFLECTION SCREWS. FASTEN JAMB BOTTOM W/ A546 BY CLARK DIETRICH - FASTEN TO CONCRETE W/(3) HILTI X-U (1-1/4" EMBED.) AND TO JAMB W/(4) #10 TEK SCREWS.
H1	FASTEN EACH END OF HEADER W/ DIETRICH ES45 EASYCLIP @ BOTTOM. FASTEN EACH LEG W/ (4) #10 TEK SCREWS. SEE TYP. BOXED HEADER TO JAMB CONNECTION DETAIL ON THIS SHEET.
H2	FASTEN EACH END OF HEADER W/ DIETRICH ES45 EASYCLIP TOP & BOTTOM. FASTEN EACH LEG W/ (3) #10 TEK SCREWS. SEE TYP. BOXED HEADER TO JAMB CONNECTION DETAIL ON THIS SHEET.
S1	REFER TO TYP. SILL DETAIL ON THIS SHEET FOR CONNECTION.

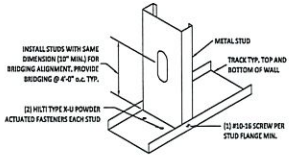


1 / S-10 HEADER / JAMB / SILL TYPES
SCALE: 3" = 1'-0"

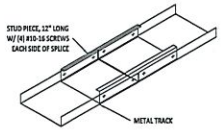


FLOOR FRAMING
(GREATER THAN 6" MEMBER)

TYPICAL BLOCK AND STRAP DETAILS @ 8'-0" o.c.



TYP. STUD BASE DETAIL



TYP. TRACK SPLICE CONNECTION

Stephen Jager, AIA
JAGER ASSOCIATES, LLC
4 Grand View Drive Enfield, CT 06082
860-803-1265 sjal@aol.com

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860.522.3970
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STATE OF CONNECTICUT
ANTHONY J. PAPA
LICENSED
PROFESSIONAL ENGINEER

PROJECT NAME:
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EAST WINDSOR, CT 06088

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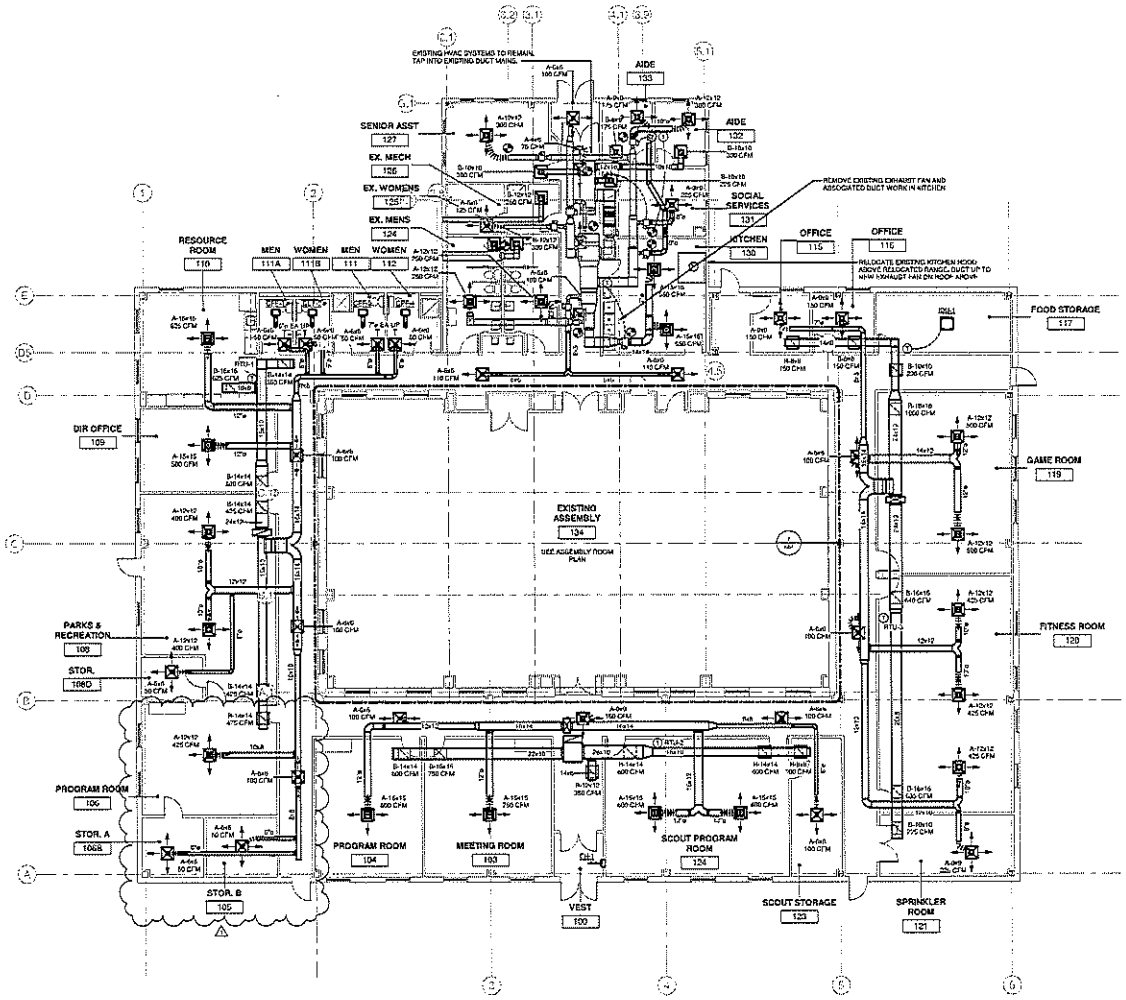
DRAWING
COLD-FORMED METAL FRMING DETAILS

S-10



1 MECHANICAL FLOOR PLAN
1/8" = 1'-0"

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acorn Consulting Engineers Inc.

Mechanical • Electrical Engineering for Building Systems

P.O. Box 251 • WEST HARTFORD PLAZA • 344 Farms Village Road West Simsbury, CT 06092 • (860) 651-7149 • Fax (860) 651-7207

www.acornengineers.com

STATE OF CONNECTICUT

PROJECT NAME:

Alterations & Additions
East Windsor
Community Center

PROJECT ADDRESS:

28 Abbe Road
East Windsor, CT
06088

PROJ NO:

2021.53

ISSUE DATE:

10/11/2022

REVISION DATE:

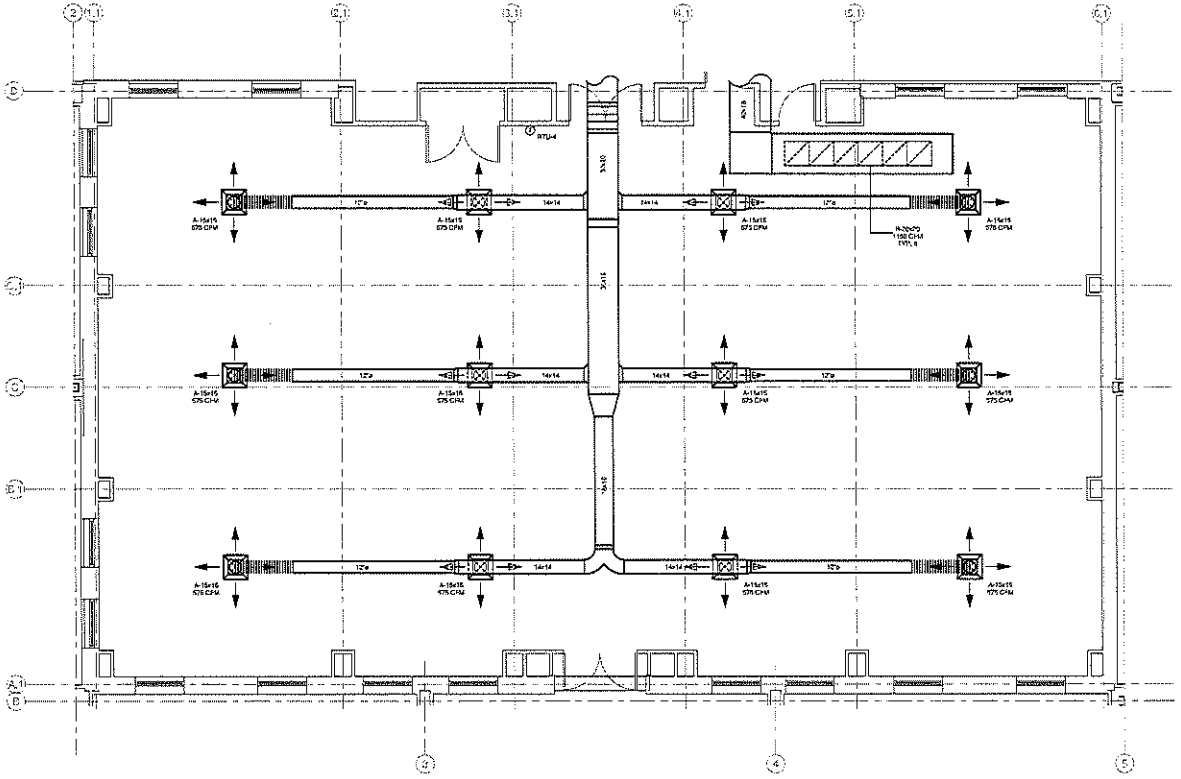
1 Rev 1 11-4-2023

DRAWING

MECHANICAL FLOOR PLAN

M1

11/9/2023 1:11:20 PM



1 ASSEMBLY ROOM PLAN
1/4" = 1'-0"

Backbridge AIA
JAGER
4 Grand View Drive Enfield, CT 06082

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P.O. Box 361 • Bristol VILLAGE PLAZA • 244 Farmington Road, West Simsbury, CT 06092 • (860) 651-0160 • fax (860) 651-1507
www.acorncengineers.com

STATE OF CONNECTICUT
No. 18771
LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:

Alterations & Additions
East Windsor
Community Center

PROJECT ADDRESS:

28 Abbe Road
East Windsor, CT
06088

PROJ NO

2021.38

ISSUE DATE:

10/11/2022

REVISION DATE:

DRAWING:

MECHANICAL
ASSEMBLY
PLAN

M2

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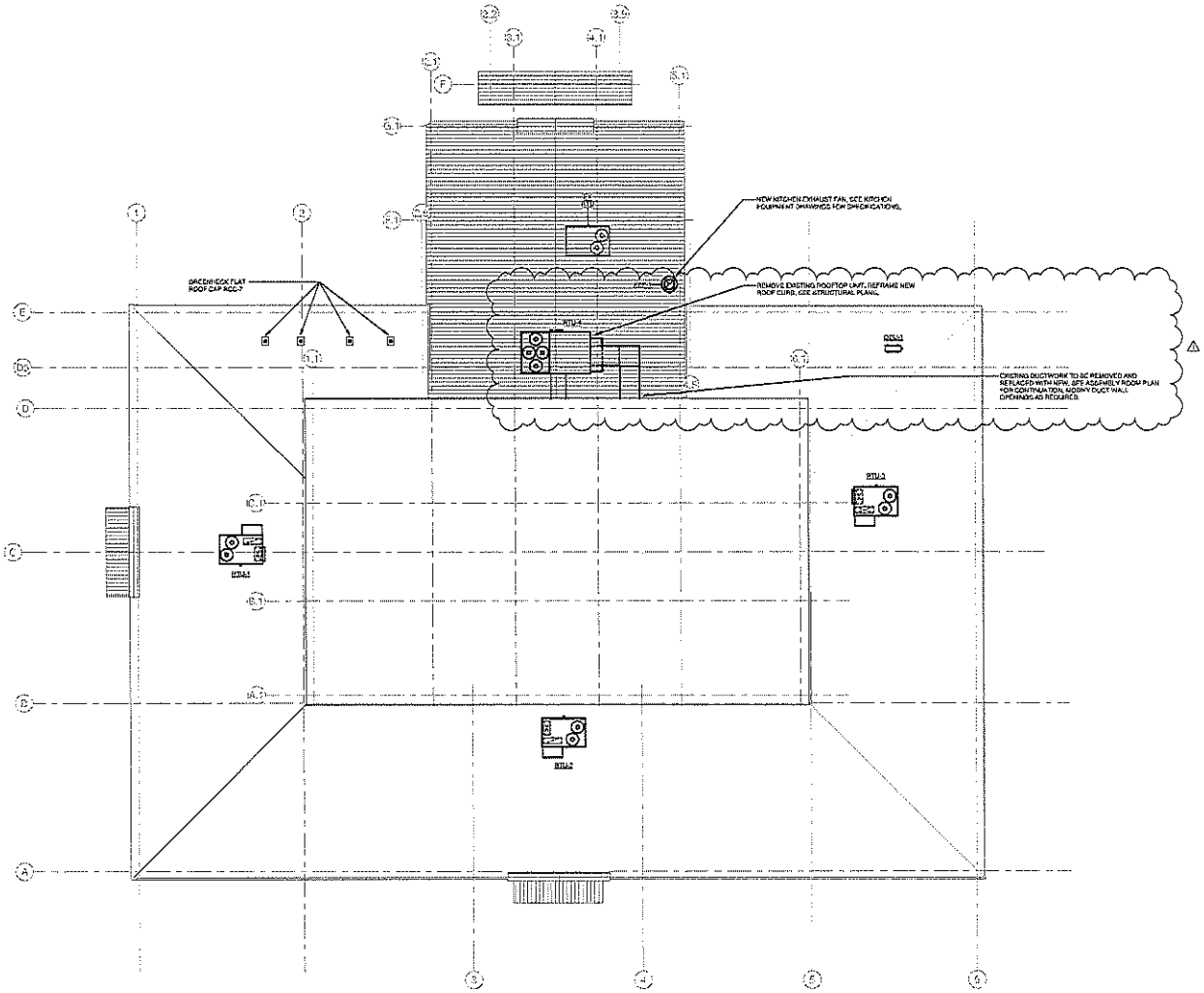

1 MECHANICAL ROOF PLAN
1/8" = 1'-0"

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JAGER
Building Design, LLC
4 Grand View Drive Enfield, CT 06082

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acorn Consulting Engineers Inc.
Mechanical • Electrical Engineering for Building Systems
P.O. Box 301 • EAST VILLAGE PLAZA • 344 Boston Post Road
West Simsbury, CT 06092 • (860) 651-9148 • Fax (860) 651-9157
www.acorn-engineers.com

STATE OF CONNECTICUT
No. 19841
LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
Alterations & Additions
East Windsor
Community Center

PROJECT ADDRESS:
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East Windsor, CT
06088

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DRAWING
MECHANICAL
ROOF PLAN

M3

PACKAGED GAS ROOFTOP UNIT SCHEDULE

TAG	MANUFACTURER/MODEL	DESIGN CONDITIONS OA °F	EAT DB °F	EAT WB °F	DX COOLING RATINGS TOTAL CAP. MBH	SENSIBLE CAP. MBH	EER	IEER	NATURAL GAS HEATING CAPACITY INPUT MBH	OUTPUT MBH	AFUE	CFM	RPM	ESP IN.WC	TSP IN.WG	FAN BHP	MIN OA CFM	ELECTRICAL DATA VOLTS	HZ	PHASE	MCA	MOCP	WEIGHT LBS	ACCESSORIES
RTU-1	CARRIER [illegible]	90°F	80°F	67°F	90.5	66.0	11.2	15.0	150	148	80%	3,000	-	1.0	1.11	1.04	425	208	60	3	44	50	710	1-4
RTU-2	CARRIER [illegible]	90°F	80°F	67°F	90.5	66.0	11.2	15.0	150	148	80%	3,000	-	1.0	1.11	1.04	375	208	60	3	44	50	710	1-4
RTU-3	CARRIER [illegible]	90°F	80°F	67°F	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	-	1.0	[illegible]	[illegible]	500	[illegible]	60	3	44	50	[illegible]	1-4
RTU-4	CARRIER [illegible]	90°F	80°F	67°F	209.2	160.5	11.2	16.3	400	324	81%	7,000	-	1.0	1.21	4.26	1,620	208	60	3	37.6	125	2,830	1-4

NOTES:
1. SELECTIONS BASED ON CARRIER. APPROVED EQUIVALENT BY TRANE & YORK.
2. PREMIUM EFFICIENCY MOTORS ABOVE 1 HP.
3. R410A REFRIGERANT.
4. BASED ON [illegible] WINTER OUTDOOR DESIGN TEMPERATURE.

ACCESSORIES:
1. 14" ROOF CURB
2. STD LEAK ENTY ECONOMIZER WITH BARO RELIEF, W7220 CONTROL. MEETS CALIF. TITLE 24 FDD
3. NON-FUSED DISCONNECT
4. HINGED PANELS AND POWERED CONVENIENCE OUTLET

EXHAUST FAN SCHEDULE

TAG	MANUFACTURER/MODEL	CFM	ESP IN. WC	HP	WATTS	RPM	VOLTS/	SOUND DATA	WEIGHT LBS	CONTROL	SERVICE	ACCESSORIES
CEF-1&2	GREENHECK SP-A90	80	0.26	-	16	900	120/1	2.4 SONES	12	MOTION SENSOR	MEN'S / WOMEN'S	NONE
CEF-3&4	GREENHECK SP-A90-120-VG	120	0.25	-	12	1041	120/1	3.0 SONES	12	MOTION SENSOR	MEN'S / WOMEN'S	NONE

NOTES:
1. ALL OTHER SELECTIONS BASED ON GREENHECK. ACCEPTABLE APPROVED EQUIVALENTS BY DELTA BREEZ & COOK.
2. MOTORS 1 HP AND ABOVE SHALL BE PREMIUM EFFICIENCY.

ELECTRIC HEATER SCHEDULE

TAG	MANUFACTURER/MODEL	CFM	VOLTS	PHASE	POWER KW	CAPACITY MBH	AMPS	ACCESSORIES
EH-1	QMARK AWH4104F	100	120	1	1.5	-	12.5	PROVIDE MODEL AWH5 RECESSED HAND. MOUNTED THERMOSTAT.

HEAT PUMP SYSTEM UNIT SCHEDULE

TAG	INDOOR UNIT MODEL	OUTDOOR UNIT MODEL	SERVING	TOTAL COOLING MBH	HEATING MBH	FAN CFM	ESP "WC	EER (SEER)	HSPF (COP)	INDOOR UNIT ELECTRICAL VOLTS	PHASE	HZ	AMPS	MOCP	OUTDOOR UNIT ELECTRICAL VOLTS	PHASE	HZ	MCA	MOCP	ACCESSORIES
[illegible]	[illegible]	[illegible]	[illegible]	11.7	11.7	430	-	12.0	10.4	POWERED BY OUTDOOR UNIT					208	1	60	16	20	ALL

NOTES:
1. SELECTION BASED ON CARRIER. ACCEPTABLE EQUIVALENT BY LG, MITSUBISHI, FUJITSU & DAIKIN.
2. R410A REFRIGERANT.
3. RUN ALL REFRIGERANT PIPING FROM IDU'S TO ODU'S. PROVIDE ALL REFRIGERANT PIPING & SPECIALTIES. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. HEATING CAPACITIES ARE BASED @ 5°F OUTDOOR AIR TEMPERATURE.

ACCESSORIES:
1. PROVIDE WIRED THERMOSTAT
2. CONDENSATE PUMP, IF REQUIRED. SEE PLUMBING PLANS.
3. CONDENSATE UNIT SHUT DOWN SAFETY SWITCH
4. ALL REFRIGERANT LINES & ACCESSORIES FACTORY RATED
5. DISCONNECT SWITCH BY ELECTRICAL CONTRACTOR.

REGISTERS, GRILLES AND DIFFUSERS SCHEDULE

TAG	MANUF./MODEL	MATERIAL	FINISH	BORDER	SERVICE	DAMPER	SIZE	REMARKS
A	PRICE AMR	ALUMINUM	B12	24X24 LAY-IN	CEILING SUPPLY DIFFUSER	OPPOSED BLADE	SEE PLAN	NONE
B	PRICE 630	ALUMINUM	B12	24X24 LAY-IN	CEILING RETURN GRILLE	OPPOSED BLADE	SEE PLAN	NONE

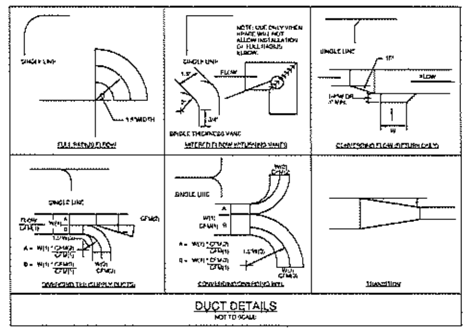
NOTES:
1. SELECTIONS BASED ON PRICE. EQUIVALENT MANUFACTURERS BY TITUS & METALAIRE.
2. SEE PLANS FOR NECK SIZES AND SMEAR DIFFUSER LENGTHS.
3. THROW PATTERNS 4-WAY UNLESS OTHERWISE SHOWN ON PLANS.
4. COORDINATE MOUNTING TYPE WITH ARCHITECTURE. COLOR BY OWNER.

GENERAL MECHANICAL NOTES :

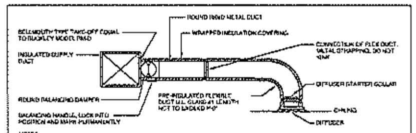
1. ALL WORK IS NEW UNLESS NOTED OTHERWISE.
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE.
3. ALL PIPING & DUCT SYSTEMS SHALL BE CONCEALED ABOVE CEILINGS OR WITHIN WALLS UNLESS SPECIFICALLY NOTED OTHERWISE.
4. DUCTWORK DIMENSIONS INDICATED ON PLANS ARE CLEAR INSIDE DIMENSIONS. PROVIDE TURNING VANES IN MITERED FITTINGS.
5. COORDINATE DUCTWORK & PIPE ROUTING WITH ALL TRADES. PROVIDE OFFSETS & FITTINGS AS REQUIRED FOR INSTALLATION.
6. REFER THE ARCHITECTURAL REFLECTED CEILING PLANS FOR THE EXACT PLACEMENT OF DIFFUSERS, GRILLES & REGISTERS.
7. SOUND LINE RETURN PLENUMS & FIRST 10 FEET OF SUPPLY DUCT.
8. REFER TO PLUMBING PLANS FOR CONDENSATE PIPING & TERMINATION.
9. REFRIGERANT PIPING SHALL BE SIZED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
10. PROVIDE ALL SERVICE ACCESS CLEARANCES FOR MECHANICAL EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE PRIOR TO INSTALLATION OF EQUIPMENT, PIPING, AND DUCTWORK.
11. PROVIDE ACCESS DOORS FOR DAMPERS LOCATED IN NON ACCESSIBLE SPACES, INCLUDING INACCESSIBLE CEILINGS. ACCESS DOORS SHALL MATCH SURROUNDINGS (COLOR BY ARCHITECT) AND SHALL HAVE FIRE RATING TO MATCH WALL OR CEILING RATING.
12. COORDINATE THE WORK OF THIS PROJECT WITH EXISTING BUILDING ELEMENTS AND EQUIPMENT. ALL WORK SHALL BE CONCEALED UNLESS NOTED OTHERWISE.
13. COORDINATE THE INSTALLATION OF GRILLES WITH EXISTING CEILING DEVICES.
14. VERIFY ALL THERMOSTAT TYPES & LOCATIONS WITH OWNER PRIOR TO ORDERING.
15. ALL BATHROOM, KITCHEN & DRYER EXHAUST OUTLETS MUST BE 3' MINIMUM FROM OPERABLE WINDOW OPENINGS.

SYMBOLS LIST

AD	ACCESS DOOR
AF	AIR FURNACE
AHU	AIR HANDLING UNIT
BC	BRANCH CONTROLLER
BTU	BRITISH THERMAL UNIT
BTU/H OR BTUH	BRITISH THERMAL UNIT PER HOUR
CEF	CEILING EXHAUST FAN
CFM	CUBIC FEET PER MINUTE
COP	COEFFICIENT OF PERFORMANCE
CU	CONDENSING UNIT
DB	DRY BULB & DIFFERENTIAL
DX	DIRECT EXPANSION
DN	DOWN
EA	EXHAUST AIR
EDB	ENTERING AIR DRY BULB
EDC	ELECTRIC DUCT COIL
EER	ENERGY EFFICIENCY RATIO
EH	ELECTRIC HEATER
ERV	ENERGY RECOVERY VENTILATOR
E.S.P.	EXTERNAL STATIC PRESSURE
EWB	ENTERING AIR WET BULB
EXH	EXHAUST
FA	FRESH AIR
FCU	FAN COIL UNIT
FLA	FULL LOAD AMPS
GPM	GALLONS PER MINUTE
HP	HORSEPOWER & HEAT PUMP
HRB	HEAT RECOVERY BOX
IDU	INDOOR UNIT
IEER	INTEGRATED ENERGY EFFICIENCY RATIO
IN.W.G. / IN W.C.	INCHES WATER GAUGE / INCHES WATER COLUMN
KW	KILOWATTS
LDB	LEAVING AIR DRY BULB
LWB	LEAVING AIR WET BULB
MAU	MAKE UP AIR UNIT
MBH	1,000 BTU/H
MCA	MINIMUM CIRCUIT AMPS
MOP / MOCP	MAXIMUM OVERCURRENT PROTECTION
OA	OUTDOOR AIR
ODU	OUTDOOR UNIT
RA	RETURN AIR
REF	ROOF EXHAUST FAN
REFRIG	REFRIGERANT
RET	RETURN
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SUP	SUPPLY
T.S.P.	TOTAL STATIC PRESSURE
UH/CUH	UNIT HEATER/CABINET UNIT HEATER
—OMD	MOTORIZED DAMPER
VD	VOLUME DAMPER
FSD	FIRE SMOKE DAMPER
FD	FIRE DAMPER
Ⓣ	THERMOSTAT
	SUPPLY OR FRESH AIR DUCT (UP/DOWN)
	RETURN OR EXHAUST AIR DUCT (UP/DOWN)
	ELBOW, TURNED UP
	ELBOW, TURNED DOWN
	CONNECT TO EXISTING
	NEW EQUIPMENT
	NEW DUCT
	EXHAUST DUCT
	REMOVE
	EXISTING TO REMAIN
	NEW FLEX DUCT
	REFRIGERANT PIPE
TAG	DUCT SIZE (WIDTH x HEIGHT) IN INCHES
Ø	ROUND DUCT SIZE (DIAMETER IN INCHES)
	CEILING EXHAUST FAN
	SUPPLY DIFFUSER WAY AIR FLOW DIRECTION & RETURN GRILLE. SEE SCHEDULE FOR INFO.
	2 WAY DIFFUSER (BLOCK OFF FLOW IN DIRECTION OF MATCHED ARROW)
Supply 170 CFM	DIFFUSER TYPE & SIZE, TOTAL CFM

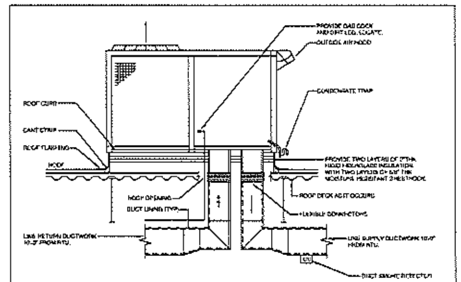


DUCT DETAILS
NOT TO SCALE



NOTES:
1. PROVIDE AT FLEXIBLE DUCT CONNECTION METAL OR "PANDUIT" DRAWBAND ON THE INTERIOR FLEXIBLE DUCT HELIX. SECURE THE INSULATION OVER THE DRAW BAND WITH AN ADDITIONAL DRAW BAND.
2. PROVIDE SEALING ON ROUND METAL DUCT 12" OR LARGER IN DIAMETER.
3. PROVIDE MINIMUM 2" COLLARS FOR ATTACHMENT OF THE FLEX DUCT TO ROUND DUCT, DAMPERS AND DIFFUSERS.
4. BAND RIGID ROUND DUCT INSULATION TO DUCT AND PROVIDE TAPE FOR INSULATION OVERLAP.
5. PROVIDE 45° TAKE-OFF WHERE DUCT HEIGHT WILL NOT ACCOMMODATE A BELLMOUTH TYPE FITTING.

FLEXIBLE SUPPLY DUCT INSTALLATION DETAIL
NOT TO SCALE



PACKAGED ROOFTOP INSTALLATION DETAIL
NOT TO SCALE

Stephen Jager, AIA
JAGER
4 Grand View Drive Enfield, CT 06082

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2021.33

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DRAWING:
MECHANICAL
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& DETAILS

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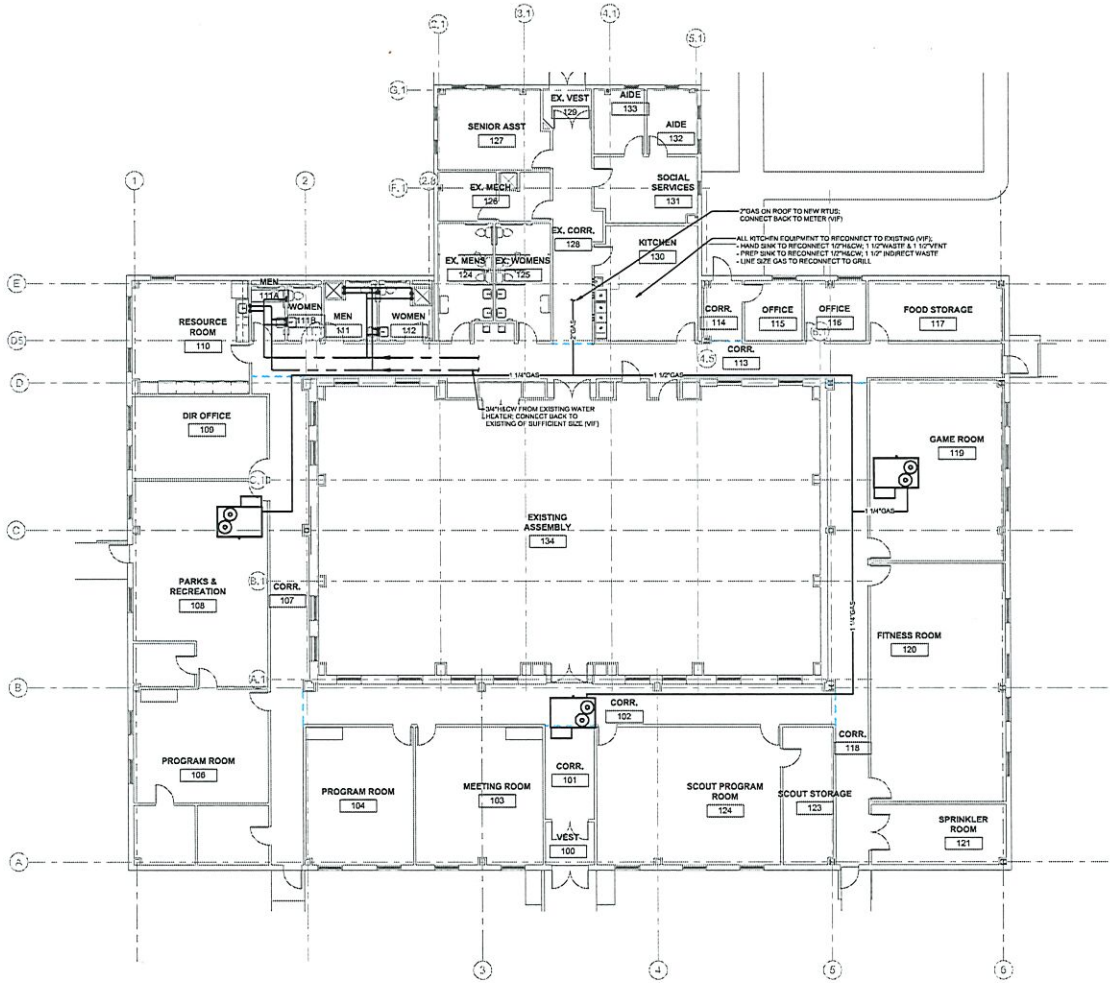

1 PLUMBING FLOOR PLAN - Water & Gas
1/8" = 1'-0"

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Stephen Jager, AIA
JAGER
4 Grand View Drive Enfield, CT 06082
860-623-1265
sjaiaa@aol.com

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Mechanical • Electrical Engineering for Building Systems
P.O. Box 311 • FARMS VILLAGE PLAZA • 344 Farms Village Road
West Simsbury, CT 06092 • (860) 651-1949 • fax (860) 651-1957
www.acornengineers.com

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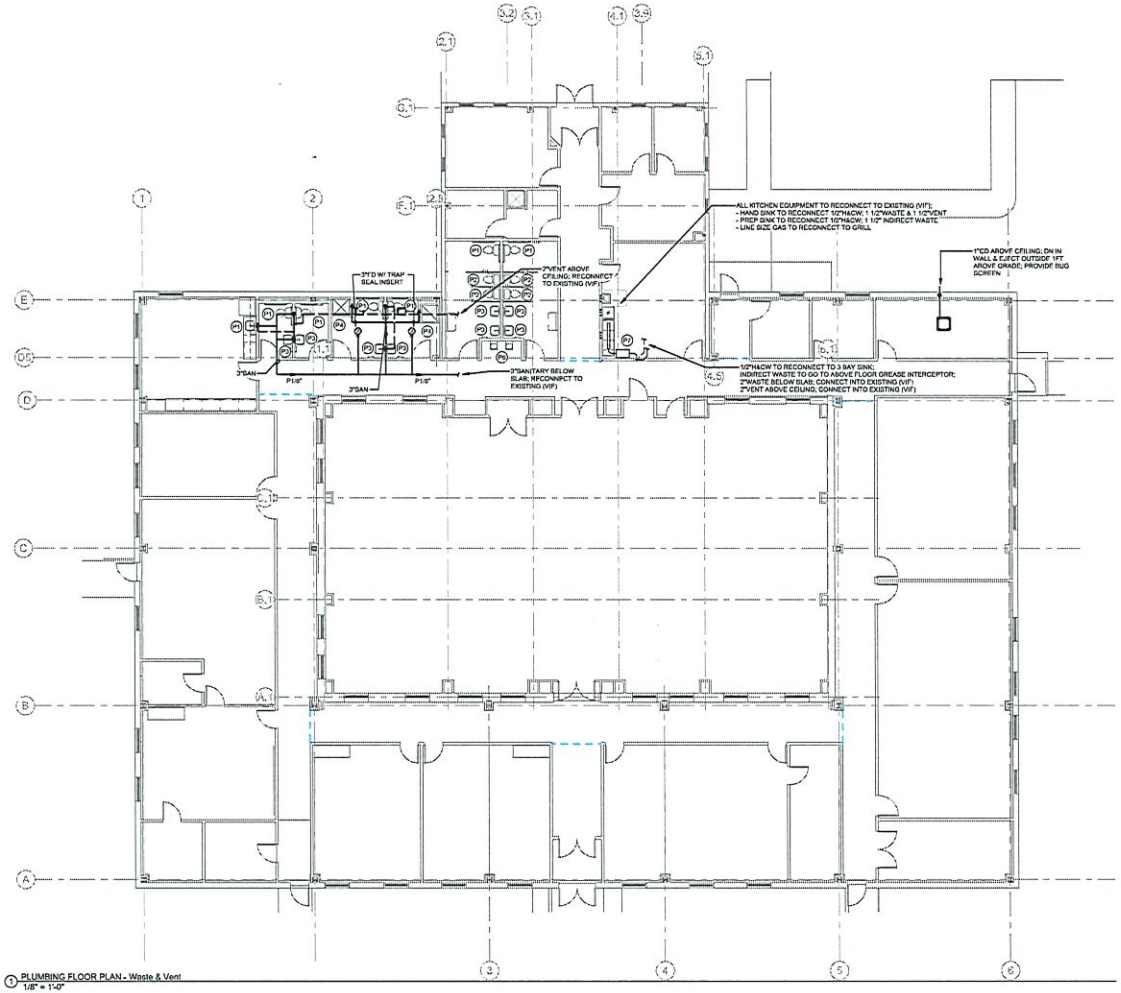
FLOOR PLAN - FIRE & PLUMBING

FP1



1 PLUMBING FLOOR PLAN - Waste & Vent
1/8" = 1'-0"

Stephen Jager, AIA

JAGER ARCHITECTS ARCHITECTS

4 Grand View Drive Enfield, CT 06082
860-203-1265
sjaiaa@

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Mechanical • Electrical Engineering for Building Systems
P.O. Box 211 • FARMS VILLAGE PLAZA • 344 Farms Village Road
West Simsbury, CT 06092 • (860) 651-7949 • fax (860) 651-1937
www.acornengineers.com

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DRAWING

FLOOR PLAN - FIRE & PLUMBING

FP2

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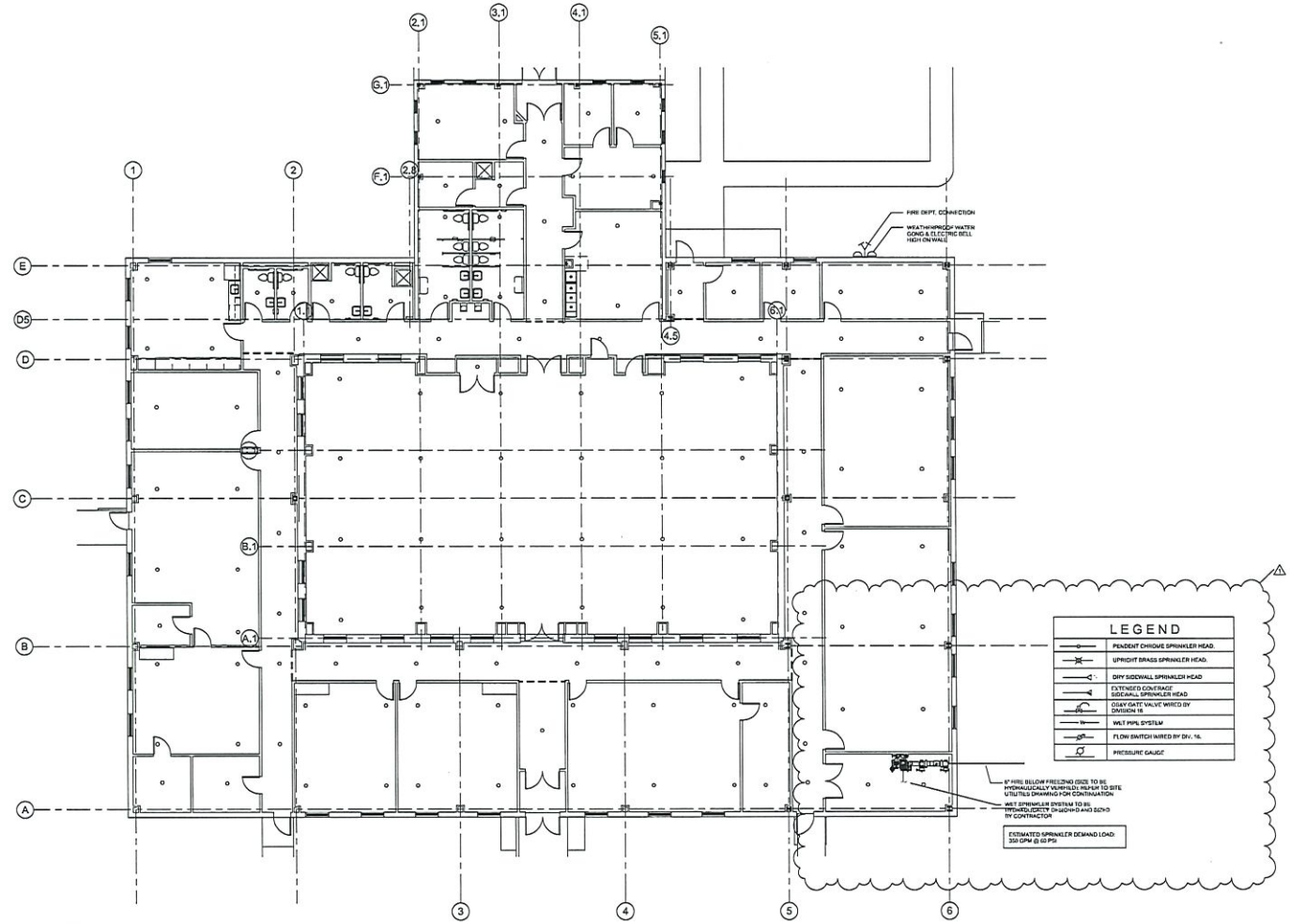

1 Fire Protection - First Floor Plan
1/8" = 1'-0"

Stephen Jager, AIA
JAGER
4 Grand View Drive Enfield, CT 06082
860-203-1265
sjaieac@.com

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SPRINKLER LAYOUT - FIRE & PLUMBING

FP3

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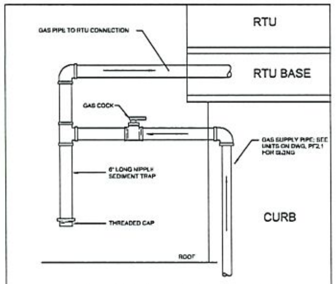


TYPICAL RTU SEDIMENT TRAP DETAIL

FIRE PROTECTION NOTES:

1. THE FIRE PROTECTION SYSTEM SHALL BE A "WET PIPE SYSTEM".
2. COORDINATE FIRE PROTECTION WORK WITH OTHER TRADES AND STRUCTURAL ELEMENTS.
3. ALL PENETRATIONS OF RATED ASSEMBLIES TO BE SEALED WITH APPROVED FIRE RATED CAULK.
4. PROVIDE ACCESS DOOR FOR ALL SHUT-OFF VALVES AND COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
5. THE BUILDING IS TO BE FULLY SPRINKLED INCLUDING COMBUSTIBLE SPACES ABOVE CEILINGS, CONCEALED SPACES, ETC. AS PER NFPA-13 2013 AND INTERNATIONAL FIRE CODE 2015 AS SPECIFIED IN SPECIFICATIONS.
6. PROVIDE AUXILIARY DRAINS ON ISOLATED TRAPPED PIPING SECTION AS PER NFPA-13.
7. PROVIDE SEISMIC BRACING AS PER NFPA.
8. THE SPRINKLER LAYOUT IS TO BE BASED ON A LIGHT HAZARD SYSTEM USING 225 SQ. FT. MAX COVERAGE PER HEAD. ORDINARY HAZARD HAS TO BE TAKEN INTO CONSIDERATION W/130 SQ.FT. MAX COVERAGE PER HEAD FOR STORAGE AREAS. THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE TO SECURE A FLOW TEST PER LOCAL WATER COMPANY GUIDELINES.
9. SPRINKLER CONTRACTOR IS RESPONSIBLE FOR THE FINAL LOCATION OF ALL RELATED EQUIPMENT (FIRE DEPT. SIAMESE CONN., WATER GONG, ELECTRIC BELL, DRAINS, TAMPER & FLOW SWITCHES, ETC.), SPRINKLER HEADS, AND ALL ASSOCIATED PIPING. COORDINATE FINAL COUNT OF SUPERVISORY AND FLOW SWITCHES WITH DIVISION 16.
10. SPRINKLER SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC AND ARE SHOWN AS A GUIDE FOR COORDINATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR A DESIGN & BUILD SERVICE AND SHALL INCLUDE IN THE BID ANY ADDITIONAL HEADS REQUIRED.
11. PROVIDE AUTO-DIALER FOR SPRINKLER SYSTEM TO CONTACT 24HR SUPERVISORY STATION IF NO FIRE ALARM CONTROL PANEL OR OWNER SECURITY MONITORING SYSTEM IS INSTALLED. PROVIDE TWO DEDICATED PHONE LINES FOR AUTO-DIALER; COORDINATE ALL WITH DIVISION 16

SPRINKLER COVERAGE NOTES:

1. 1ST FLOOR & COMMON AREAS - PROVIDE A WET SYSTEM WITH SEMI-RECESSED PENDENT (CHROME) SPRINKLER COVERAGE. ALL PIPING TO BE CONCEALED.

FIXTURE SCHEDULE

(P1) FIXTURE: "Kohler", Highline, Pressure-Lite, Flushmate Elongated Toilet, Model #K-3493 Vitreous china, 17¼" Rim Height, 1.6 Gal. flush, Elongated bowl, Floor mounted, Floor outlet, Provide Braided supplies, stops & escutcheons, Fixture is ADA Compliant,

Seat: "CENTOCO" #630ST-001 Commercial Standard Elongated bowl, open front seat LESS cover,

(P2) FIXTURE: "Kohler", Wellworth, Pressure-Lite, Flushmate Elongated Toilet, Model #K-3505 Vitreous china, 15¼" Rim Height, 1.6 Gal. flush, Elongated bowl, Floor mounted, Floor outlet, Provide Braided supplies, stops & escutcheons,

Seat: "CENTOCO" #630ST-001 Commercial Standard Elongated bowl, open front seat LESS cover.

(P3) FIXTURE: "Kohler", Soho, Wall mounted lavatory, Model #K-2054, Vitreous china, 4" center holes, concealed arms, Provide with wall carrier. Braided supplies, stops & escutcheons, 1¼" 17ga chrome P-trap, Front overflow, 22"x18¼" size, Undersink protection by "TRUEBRO LAV GUARD" Model #102 E-Z.

Trim: "Symmons" Scot, Model #SLC-6000-G-.5, Metering Temp Lever, push control faucet, chrome finish with grid drain assembly, vandal resistant ½ GPM aerator, Provide local below deck thermostatic mixing valve, Fixture is ADA Compliant.

(P4) FIXTURE: "Comfortdesigns", Acrylic One-piece ADA Transfer Shower with tile finish, Model #XST3938HP-L size OD 38¼"x38"x83".

Trim: "SYMMONS" ORIGINS Model #S-9603-PLR-X, Pressure balanced valve with chrome finish lever handle, integral check stops, hose & spray, slide bar and vacuum breaker, Provide drain assembly, Fixture is ADA Compliant.

(P5) FIXTURE: "Elkay", ADA CR Series Countertop Single Bowl Sink" Model GECR2521-3-R(L), Self-rimming, 20 Gauge Stainless Steel with offset drain (offset to dishwasher side). Provide braided supplies, stops & escutcheons, 1½" 17ga chrome P-trap. Elkay #LK35 stainless steel sink drain with strainer kit. Insulate exposed hot & cold water and P-trap piping below with Truebro Model #103 E-Z insulation kit.

Trim: "SYMMONS" Model #S-23-1-W, 6" Single lever chrome finish kitchen faucet, 8¼" swing spout with swivel spray aerator, Polished chrome finish, 2.2 GPM flow.

(P6) "ELKAY", Model #EZSTL8WSLK, Two Level Filtered Water Cooler with Bottle filling station, Wheelchair access model, includes LK404 drain and trap assembly. Fixture is ADA compliant.

(P7) FIXTURE: "THERMACO" Big Dipper Automatic Grease Removal System, Model #W-200-IS, Stainless Steel, 115V / 1172Watts, 20 gpm, 47 lbs capacity, 2.5 gallon internal strainer. Provide with flow restrictor. Provide with stand & coordinate its height with final sewer invert,

— W.C.O. "J.R. Smith" #4400 Series-U Duco C.I. Spigot Ferrule with cast bronze taper thread plug. Chrome plated bronze round frame and vandal proof screws.

— F.C.O. "J.R. Smith" #4020-U Series, No-hub outlet, Duco C.I. Cleanout with round adjustable scoriated nickel bronze top. Vandal proof top.

— F.G.C.O. "J.R. Smith" #4250 Series Duco C.I. cleanout and double flanged housing with heavy duty secured scoriated cover with lifting device,

— F.D. "Watts" #FD9 or FD10 (Based on floor type) PVC Body with round nickel bronze adjustable strainer head, round grate, sediment bucket and funnel (as needed) Provide trap seal inserts. Provide funnel on all floor drains that receive indirect discharge.

— F.S. "J.R. Smith" #3007-03-13, 12" Stainless Steel, 6"deep floor sink with sediment bucket & ½ grate.

SYMBOL LIST

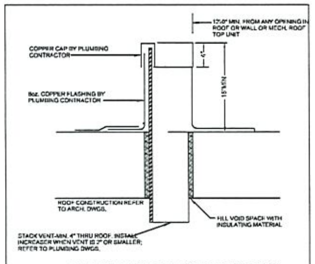
•	———	COLD WATER PIPE (CW)
•	– – – –	HOT WATER PIPE (HW) (110°F)
•	– – – –	HOT WATER RECIRCULATION PIPE (HWR) (110°F)
•	– – – –	HOT WATER PIPE (140°F)
•	– - – - –	HOT WATER CIRCULATION PIPE (140°F)
•	— S —	SANITARY PIPE (BROKEN LINE IS BELOW FLOOR)
•	— ST —	STORM PIPE
•	— EMST —	EMERGENCY STORM PIPE
•	– – – –	VENT PIPE (V)
•	—CD—	CONDENSATE / DRY PIPE
•	——▶	DIRECTION OF FLOW
•	WCO	WALL CLEANOUT
•		CHECK VALVE
•	W.S.	WASTE STACK
•	V.S.	VENT STACK
•	S.S.	SOIL STACK
•	V.T.R.	VENT THROUGH ROOF
•		GATE VALVE
•		BALL VALVE
•	— G —	GAS PIPE
•		GAS SHUT OFF
•		BACKFLOW PREVENTER
•		PRESSURE REDUCING VALVE
•		BALANCING VALVE
•		WATER HAMMER ARRESTER
•	H.B.	HOSE BIBB (NON-FREEZE WHEN INDICATED)
•	F.S.	FLOOR SINK
•	F.D.	FLOOR DRAIN
•	FCO	FLOOR CLEANOUT
•	FGCO	FINISH GRADE CLEANOUT
•	BWV	BACK WATER VALVE
•	(VIF)	VERIFY IN FIELD

PLUMBING NOTES:

1. ALL PLUMBING WORK TO BE IN ACCORDANCE WITH THE LOCAL PLUMBING CODE.
2. ALL WATER PIPING TO BE WITHIN THE HEATED ENVELOPE OF BUILDING. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO FIXTURES, BRANCH PLUMBING PIPES TO HAVE STOPS & TRAPS W/ESCUTCHEONS.
3. ALL PLUMBING PIPING TO BE CONCEALED ABOVE CEILINGS OR IN WALLS UNLESS NOTED OTHERWISE ON PLANS.
4. PIPING AS SHOWN IS ONLY DIAGRAMMATICALLY PRESENTED. CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AND STRUCTURAL ELEMENTS. CONTRACTOR SHALL ALSO FURNISH ALL REQUIRED EQUIPMENT NECESSARY FOR A COMPLETE INSTALLATION.
5. ALL PENETRATIONS OF RATED ASSEMBLIES TO BE SEALED WITH APPROVED FIRE RATED CAULK. FIRE PENETRATION SYSTEMS SHALL MEET THE UL LISTING FOR EXISTING WALL OR FLOOR CONSTRUCTION.
6. PROVIDE ACCESS DOORS AS NEEDED FOR ALL SHUT-OFF VALVES AND COMPONENTS NEEDING ACCESS. COORDINATE WITH GENERAL CONTRACTOR.
7. SEE ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHTS.
8. INSULATE EXPOSED PIPING BELOW HANDICAP LAVATORIES AND SINKS.
9. PROVIDE DEEP SEAL "P" TRAP ON EACH UNITS CONDENSATE LINE; PROVIDE FUNNELS AT FLOOR DRAINS & TRAP SEAL INSERTS.
10. ALL EXTERIOR EXPOSED GAS PIPING TO BE PAINTED. PROVIDE CONNECTION SIZE DEEP SEAL "P" TRAP ON RT UNITS CONDENSATE DRAINS & WIRE MESH PIPE ENDS, ALLOW CONDENSATE TO DRIP ON ROOF.
11. PROVIDE SEISMIC BRACING AS REQUIRED PER CODE.
12. PROVIDE WATER HAMMER ARRESTERS ON ANY QUICK CLOSING FIXTURES OR EQUIPMENT WHERE REQUIRED.
13. ALL FIXTURE WATER TERMINATIONS TO BE COPPER & THROUGH THE WALLS (UNLESS ON AN EXTERIOR WALL, THEN THROUGH FLOOR TO BE PERMITTED) AND HAVE ESCUTCHEON PLATES. ROUGH OPENINGS TO BE FILLED WITH EXPANDING FOAM SO CAVITY IS COMPLETELY SEALED BEHIND ESCUTCHEONS.
14. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD ALL LOCATIONS AND SIZE OF EXISTING MAIN SANITARY AND WATER PIPING BEING TIED INTO AND VERIFY CONTINUITY, CONDITION AND PROPER SIZE. IF PIPING DOES NOT CONFORM TO ALL CONDITIONS THEN THE ARCHITECT & ENGINEER IS TO BE NOTIFIED. ALL BRANCH WASTE PIPE, "P" TRAPS AND HOT-COLD WATER CONNECTION PIPING TO FIXTURES IS TO BE REPLACED WITH NEW.

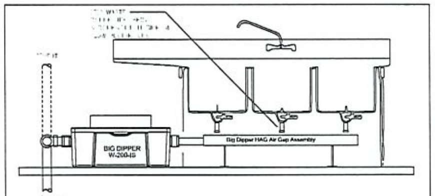
SCHEDULE OF SIZING FOR ROUGHING FOR PLUMBING FIXTURES

WATER CLOSET- TANK TYPE	1/2"CW	3"S	2"V
[illegible]	3/4"CW	2"S	1-1/2"V
LAVATORY SINK	1/2" H & CW	1-1/2"W	1-1/2"V
MOP SINK	1/2" H & CW	3"W	2"V
HOSE BIB	3/4"CW	—	—
KITCHEN SINK	1/2" H & CW	1-1/2"W	1-1/2"V
[illegible]	1/2" H & CW	2"W	—



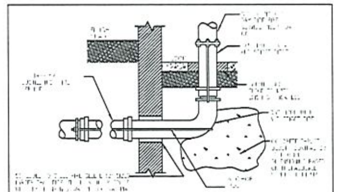
VENT STACK FLASHING DETAIL

ALL VENT RISERS SHALL BE OFFSET AS REQUIRED TO CLEAR ROOF STRUCTURE, DUCTWORK, OR MECHANICAL UNITS ON ROOF. PLUMBING CONTRACTOR MUST COORDINATE WITH OTHER TRADES.

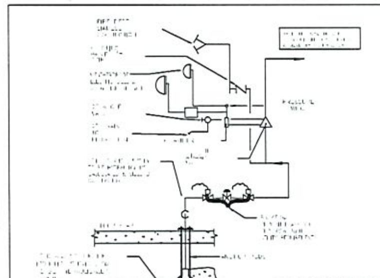


3 COMPARTMENT SINK WITH ACTIVE INTERCEPTOR

NOT TO SCALE

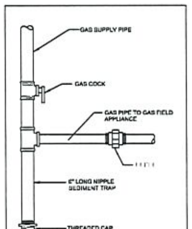


FIRE SERVICE WALL / FLOOR PENETRATION

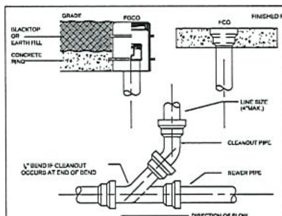


FIRE SERVICE RISER

NOT TO SCALE

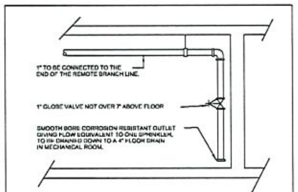


TYPICAL GAS SEDIMENT TRAP DETAIL NOT TO SCALE



FINISH GRADE OR FLOOR CLEANOUT

NOT TO SCALE



TEST CONNECTION ON WET-PIPE SYSTEM

NOT TO SCALE

(2) Details 2
1/8" = 1'-0"

Stephen Jager, AIA
JAGER ASSOCIATES LLC
4 Grand View Drive Enfield, CT 06082
860-803-1295
sjaia@aol.com

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P.O. Box 311 • FARMS VILLAGE PLAZA • 244 Farms Village Road West Simsbury, CT 06092 • (860) 651-1949 • Fax (860) 651-1957
www.acornengineers.com

PROJECT NAME:
Alterations & Additions
East Windsor
Community Center

PROJECT ADDRESS:
28 Abbe Road
East Windsor, CT
06088

PROJ NO:
2021.33
ISSUE DATE:
10/11/2022
REVISION DATE:

DRAWING
DETAILS - FIRE & PLUMBING

FP4

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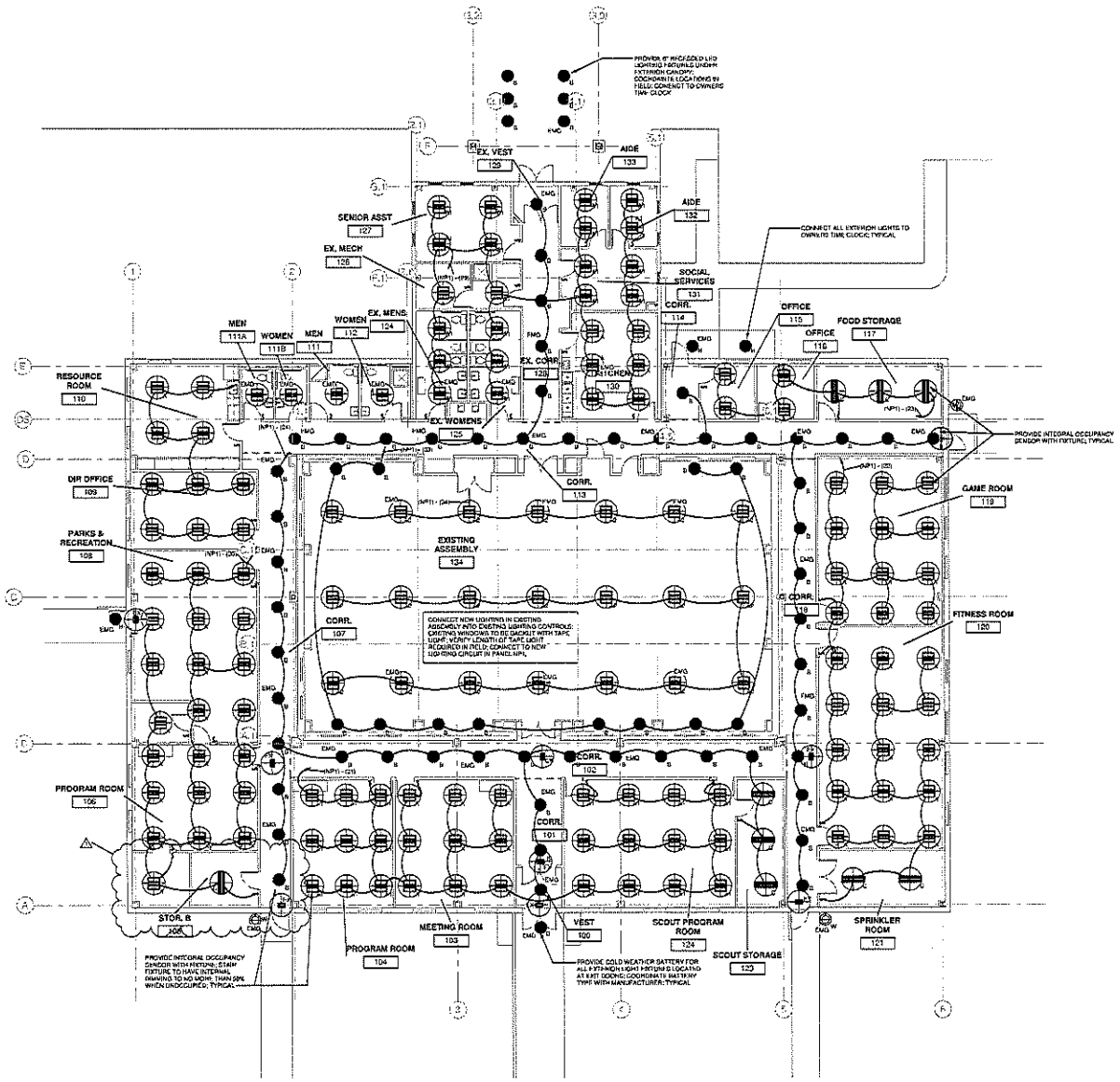

1 ELECTRICAL LIGHTING FLOOR PLAN
1/8" = 1'-0"

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PROJECT NAME:

ADDITION/REMODEL COMMUNITY CENTER

PROJECT ADDRESS:

28 Abbe Road
East Windsor, CT
06088

PROJ NO:

2021.33

ISSUE DATE:

10/11/2022

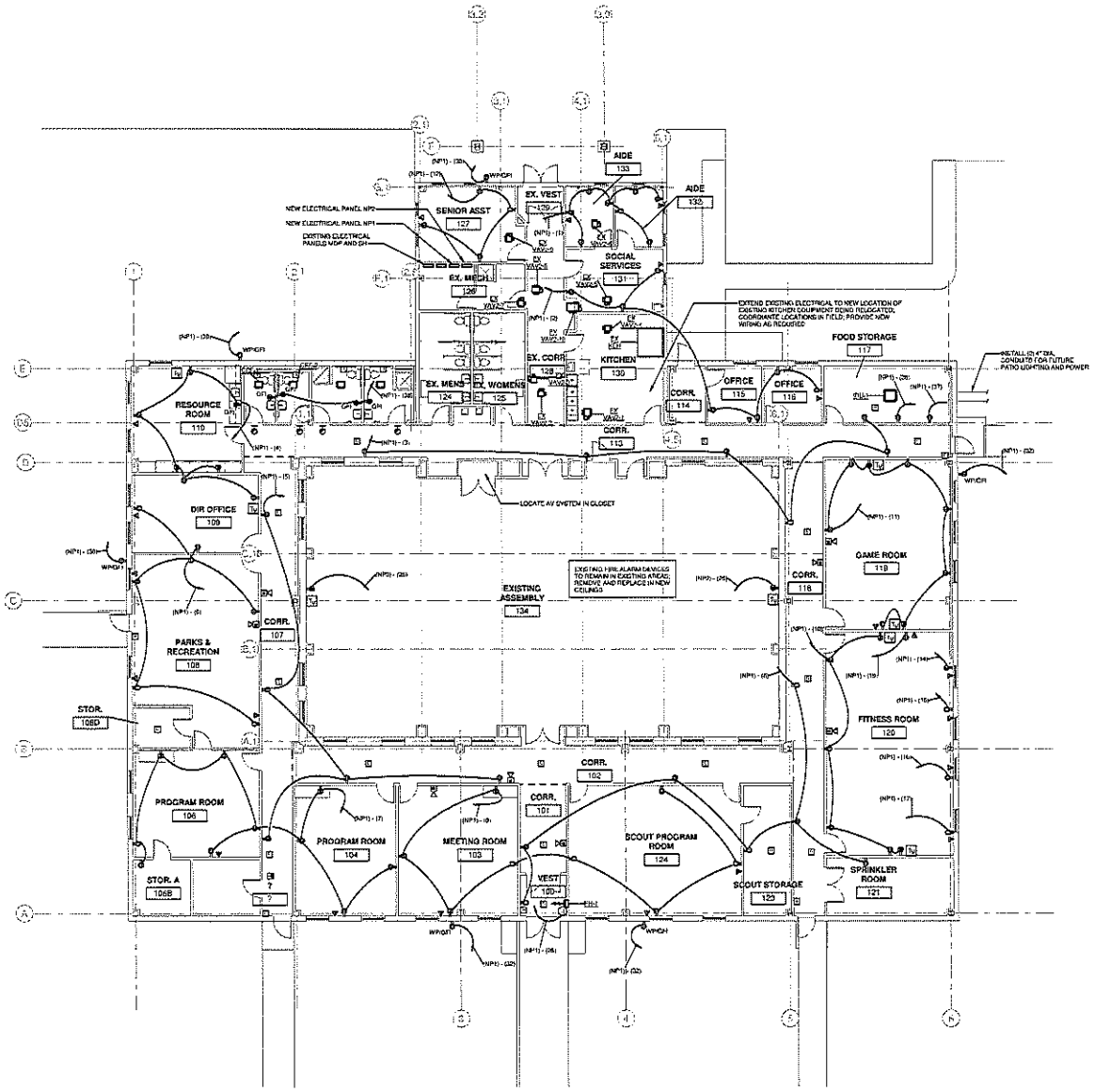
REVISION DATE

1 REV. NO 11-9-2023

DRAWING

ELECTRICAL LIGHTING FLOOR PLAN

E1



1 ELECTRICAL POWER FLOOR PLAN
1/8" = 1'-0"

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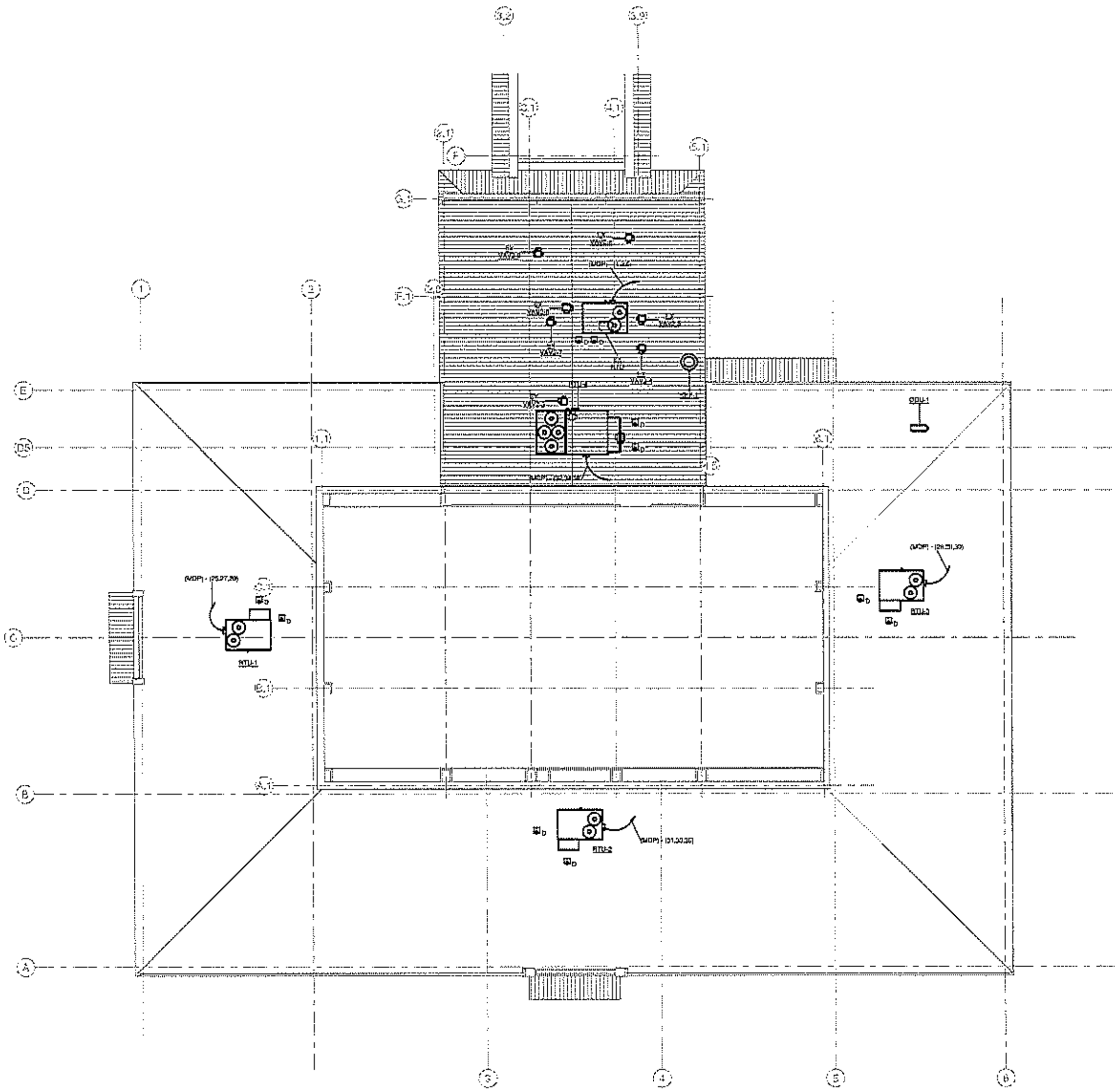
ELECTRICAL POWER FLOOR PLAN

E2



① ELECTRICAL POWER ROOF PLAN
1/8" = 1'-0"

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10/11/2022

REVISION DATE

DRAWING

ELECTRICAL ROOF PLAN

E3

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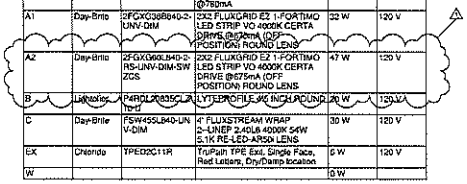
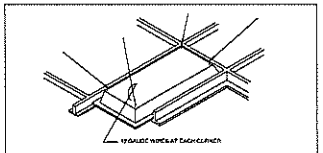
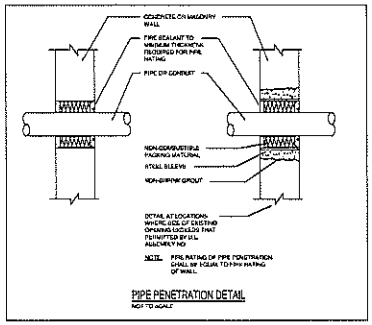
Lighting Fixture Schedule					
Type	Manufacturer	Model	Description	Wattage	Voltage
A	Day-Brite	2FGXG4SLB40-2-RS-UNV	2X2 2-FORTIMO LED STRIP VO 4000K BOARDS 40W DRIVER @750mA	34 W	120 V
A1	Day-Brite	1FGXG3SB840-2-UNV-DIM	2X2 FLUXGRID E2 1-FORTIMO LED STRIP VO 4000K CERTA DRIVE @675mA (OFF POSITION) ROUND LENS	32 W	120 V
A2	Day-Brite	2FGXG6SLB40-2-RS-UNV-DIM-SW ZCS	2X2 FLUXGRID E2 1-FORTIMO LED STRIP VO 4000K CERTA DRIVE @675mA (OFF POSITION) ROUND LENS	47 W	120 V
B	Lightolier	P4RDLR835CL2LVTERPOFILE WC INCH ROUND TBHT	LYTERPOFILE WC INCH ROUND	20 W	120 VA
C	Day-Brite	FSW4SSLB40-UNV-DIM	4' FLUXSTREAM WRAP 2-LINEP 2.40LB 4000K 54W 5.1K RE-LED-ARSN LENS	30 W	120 V
EX	Cheralite	TPED2C11R	TruPath TPE Ext, Single Face, Red Letters, Dry/Damp location	5 W	120 V
W				0 W	

PROVIDE INTEGRAL OCCUPANCY SENSOR WITH LIGHTING FIXTURES





BRACING FOR LIGHT FIXTURES
NOT TO SCALE



PIPE PENETRATION DETAIL
NOT TO SCALE

ELECTRICAL GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE BUILDING CODES.
2. E.C. SHALL OBTAIN AND HAVE FOREMAN'S SIGNATURE ON INSPECTION AND OBTAIN CERTIFICATE OF ELECTRICAL INSPECTION. THIS CERTIFICATE SHALL BE PASTED ON THE INSIDE OF THE PANEL FRONT.
3. FOR THE SAFETY OF THOSE PLACING TEMPORARY EQUIPMENT AND PERFORMING ELECTRICAL WORK THE E.C. SHALL PROVIDE AND ALL WORK SHALL COMPLY WITH NFPA 70E, LATEST EDITION. THE EQUIPMENT SHALL BE PROPERLY GROUNDED. SINGLE GROUND TO BE USED. NO DOUBLE GROUNDING. TEMPORARY THE LOCATION SHALL BE ESTABLISHED BY THE ARCHITECT OR RESPONSIBLE AND QUALIFIED PERSONNEL. NO EXTRA CHARGES WILL BE ACCEPTED.
4. THE E.C. SHALL COORDINATE ALL PHASING WORK WITH THE ARCHITECT, SEATING CONTRACTOR AND OWNER OF THE PROJECT.
5. REFER TO THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL ARCHITECTURAL ELEMENTS, SEATING, CONSTRUCTION, ETC. ALL DEVICES AND FIXTURES TO BE LOCATED BY THE ARCHITECT.
6. ALL ELECTRICAL EQUIPMENT SHALL BE SEISMically RESTRAINED AS REQUIRED BY THE LOCAL AND STATE BUILDING CODE.
7. ALL NECESSARY MOUNTING HARDWARE, HANGERS, BRACKETS, BOLTS, NUTS, STEEL, CHANNEL ETC. SHALL BE FURNISHED AND INSTALLED BY E.C.
8. ALL NEW CIRCUITS TO BE PROVIDED WITH A NEUTRAL CONDUCTOR. SHARED NEUTRALS NOT ACCEPTABLE.
9. ALL NEW LIGHTS AND SWITCHES SHALL BE TESTED FOR PROPER OPERATION AND NO LIGHT CIRCUITS SHALL BE TURNED OVER TO OWNER AS A COMPLETE UNIT.
10. ALL CONDUITS TO BE ELECTRICAL METALLIC TUBING (EMT) UNLESS OTHERWISE NOTED.
11. E.C. SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF APPROVAL AND FINAL ACCEPTANCE.
12. ALL CONDUIT AND WIRING SHALL BE MINIMUM CONDUCTOR SIZE #12 AWG, TYPE THW AND COPPER UNLESS OTHERWISE NOTED OTHERWISE.
13. ALL WIRING SHALL BE TYPE THWN OR THHN, UNLESS OTHERWISE NOTED. FOR CONDUCTORS LARGER THAN #12 AWG THE WIRING WILL BE ACCEPTED.
14. CONNECTIONS TO EQUIPMENT AND OTHER METALLIC CASING, ENCLOSURES, PANELBOARDS, CABLE, METAL CLADS, UNDERGROUND CABLE, OR CABLE WITH CONDUCTORS, CONNECTIONS, ETC. SHALL BE MADE WITH PRESSURE TYPE CONNECTORS ASSEMBLED SHALL BE SATISFACTORY. COMPRESSION TYPE AND CONTACTS WILL BE ACCEPTABLE. GROUND WIRES SHALL BE SIZED AS SPECIFIED BY INSTALLATION MANUAL AND STANDARDS.
15. ALL CIRCUITS BACK TO PANEL SHALL INCLUDE THE PROPER GROUND AS SPECIFIED IN THE NOTES.
16. ALL DRAWINGS ARE DIAGRAMATIC IN NATURE. ALL CONDUIT, CABLE, DEVICES, FIXTURES AND EQUIPMENT SHALL BE INSTALLED IN THE MOST DIRECT MANNER POSSIBLE TO SUIT THE PROPER SPACE. ALL DEVICES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL DEVICES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.
17. ALL WORK SHALL BE DONE IN A NEAT MANNER.
18. ALL NEW CONDUCTORS, CONDUCTORS, CONDUIT AND CABLE SHALL BE COMPLETE, WORKING AND CONNECTED TO THE JUNCTION BOXES AND TO THE FIELD DEVICES AND CABLE. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE N.E.C.
19. ALL NEW NEW ILLUMINATED EXIT SHALL BE CONNECTED TO EXISTING EMERGENCY LIGHTING. COORDINATE WITH OWNER'S REPRESENTATIVE. ALL NECESSARY ITEMS REQUIRED FOR COMPLETE CONNECTION INSTALLATION.

ELECTRICAL LIGHTING NOTES:

1. REFER TO ARCHITECTURAL REFLECTIVE CEILING PLAN FOR EXACT LOCATIONS OF CEILING MOUNTED LIGHT FIXTURES. REFER TO ARCHITECTURAL ELEVATIONS FOR VERTICAL HEIGHT OF WALL MOUNTED BOXES AND FIXTURES.
2. ALL LIGHT FIXTURES IN CEILING SHALL BE ALIGNED TO THE BUILDING STRUCTURE AND NOT TO THE CEILING.
3. FLUORESCENT LIGHTING FIXTURES AND FLUORESCENT EXIT SIGNS SHALL BE WIRED WITH INDEPENDENT LIGHTING CIRCUITS AND NOT ANY LIGHTING CIRCUITS FOR CONTROLLED LIGHTING AND NO CONSECUTIVE LIGHTING.
4. COORDINATE LOCATIONS AND SPECIFICATIONS OF ALL OUTDOOR LIGHTING AND ELECTRICAL SYSTEM PLANS.
5. PROVIDE LIGHTING FOR LIGHTING FIXTURE WHERE REQUIRED. COORDINATE WITH ARCHITECTURAL PLANS.
6. CEILING LIGHTS SHALL BE CONNECTED TO EMERGENCY LIGHTING CIRCUIT WITH OWNER'S REPRESENTATIVE TO THE LOCAL DETAILS.
7. PROVIDE EXIT SIGNS FOR ALL EXITS AND EMERGENCY EXITS PER 2017 INTERNATIONAL ENERGY CODE.
8. PROVIDE BUTTON FOR ALL LIGHT FIXTURES TO SUITS WITH THE.

ELECTRICAL POWER NOTES:

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE BUILDING CODES.
2. ALL WORK IS INTERRUPTED WITHOUT NOTICE.
3. REFER TO ARCHITECTURAL PLANS FOR EXACT OUTLET MOUNTING HEIGHTS, ELEVATIONS AND DIMENSIONS. WITH THE GENERAL CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK. THE E.C. SHALL NOTIFY THE ARCHITECT IF ANY DEVIATIONS FROM THE PLANS WITHOUT WRITTEN APPROVAL.
4. THE E.C. SHALL COORDINATE WITH OWNER FOR REPRESENTATIVE. THE E.C. SHALL DETERMINE EXACT LOCATIONS AND POWER REQUIREMENTS OF REMOVABLE AND NON REMOVABLE EQUIPMENT WITH MECHANICAL DRAWINGS. THE E.C. SHALL BE FULLY CONVERSANT TO ALL CONTROLS, OWNER-OPTIONS EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS NEEDED.
5. E.C. SHALL PROVIDE SPECIFICATION SHEETS AND SUPPORTING CATALOG DATA FOR ALL EQUIPMENT PRIOR TO THE DOCUMENT SUBMITTAL AND PROCUREMENT AND THE FABRICATION OF ANY ITEMS.
6. E.C. SHALL SUPPLY AND INSTALL FIXTURES, POLES AND CIRCUIT BREAKERS TO MATCH THE NAME PLATE RATING OF INSTALLED EQUIPMENT. THIS SHALL BE INCLUDED IN THE BIDDING PROCESS. NO EXTRA WILL BE ACCEPTED.
7. ELECTRICAL CONDUIT PLATE SUPPORTS SHALL BE INSTALLED IN ALL INCAPACITATED CAPTURED OR OTHER ELECTRICAL PLATES WHICH ARE MOUNTING CONDITIONS AND INSTALLATION SPACE.
8. ALL NEW WIRING TO PANELBOARDS DESIGNATED SHALL BE COPPER TO 2HZ AND 3 WIRE CONDUCTORS AND CONDUIT TO PANEL LABELED AT THE PANELBOARD PANEL UNLESS OTHERWISE NOTED.
9. UNDER NO ALTERNATE WIRING SHALL BE ACCEPTED UNTIL THE FIRST PROPER TO OWNER'S REPRESENTATIVE.
10. THE WORK OF THE MANUAL WIRE & PANELBOARD SHALL BE A MINIMUM OF 20 HOURS AND AS REQUIRED AT HOURS AS REQUIRED WITHOUT THE ATTENDANCE OF THE E.C.
11. THE MINIMUM MOUNTING HEIGHT OF THE COMMUNICATION OUTLET SHALL BE 18 INCHES AFF TO THE BOTTOM OF THE BOX AS FROM THE FINISHED FLOOR TO THE TOP.
12. COORDINATION WITH OWNER SHALL BE ACCURATELY MATCHED WITH A MINIMUM OF 24 HOURS AND A MINIMUM OF 10 HOURS. THE FOLLOWING MUST BE COMPLETED AT LEAST 24 HOURS AHEAD OF TIME TO ALLOW A MINIMUM OF 10 HOURS FOR PROCESSING AND APPROVAL BY OWNER'S REPRESENTATIVE. ALL OTHERS SUBMITTED SHALL BE INCURRED.
13. CONDUIT ALL BRANCH CIRCUIT WIRING TO DEVICES AND LIGHT FIXTURES AS SHOWN ON THE NOTES.
14. ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS TO HVAC CONTROL PANELS AND OTHER DEVICES, MOTORS OR CONTROLS AND ALL NECESSARY WORK TO.
15. ALL CIRCUITS PRIOR TO PAYMENT SHALL RECEIVE AN FINAL INSPECTION AND ALL OTHER ALL NOTES.

ELECTRICAL SYMBOL LIST

	SINGLE RECEPTACLE OUTLET
	SINGLE RECEPTACLE OUTLET MOUNTED ABOVE COUNTERTOP
	DUPLEX RECEPTACLE OUTLET
	SPECIAL PURPOSE OUTLET 208 OR HIGHER
$ $3 $4	WALL SWITCH (SINGLE POLE, 3 WAY, 4 WAY) (SPECIFY WITH SUFFIX LETTER IF NECESSARY)
	WIRE CONNECTION ABOVE CEILING
	CONDUIT CONCEALED
	CONDUIT EXPOSED
	TELEPHONE OUTLET PROVIDE CABLE TO PLENUM COMMUNICATIONS OUTLET FROM ELECTRICAL PANEL TO SUITABLE WALL WITH 75 OF SPACE FOR TELEPHONE USE
	PUSH BUTTON WITH PILOT LIGHT
PB	CIRCUIT BREAKER PANEL PANEL VOLTAGE NOTED
	RECESSED LIGHT WITH WHITE LENS
	FLUORESCENT
	DOUBLE SWITCH
	THERMOSTAT
J	JUNCTION BOX
	SMALL DIAMOND SHAPED TYPE EXIT SIGN WITH CONTAINER WITH EXTERNAL HOUSING, PROVIDE TO BE WALL WITH SUFFIX LETTER. TO BE WALL MOUNTED, WITH SUFFIX LETTER. SHARP EDGES, WITH SUFFIX LETTER. PROVIDED WITH FRAME, SUFFIX LETTER. PROVIDE TO BE WALL OR CEILING LOCATION, REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS
	TRUSTS EMERGENCY HEAD
	EMERGENCY BATTERY
	GROUND FAULT CIRCUIT INTERRUPTER
	NEW SPACE
	EXISTING LIGHT
	WIRE ALARM CONNECTION MATERIAL, UNDERGROUND FREQUENCY NOTIFICATION
	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM PROBE SWITCH
	FIRE ALARM FLOW SWITCH
	FIRE ALARM HEAT DETECTOR
	FIRE ALARM SMOKE DETECTOR DUCTED DUCT SMOKE DETECTOR, A MINIMUM LOCATION DETAIL

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Acorn Consulting Engineers Inc.
Mechanical • Electrical Engineering for Building Systems

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ADDITION/REMODEL COMMUNITY CENTER

PROJECT ADDRESS:
28 Abbe Road
East Windsor, CT 06088

PROJ NO:
2021.33

ISSUE DATE:
10/11/2022

REVISION DATE:
1 REV. NO 11-6-2023

DRAWING:
ELECTRICAL DETAILS

E4

11/9/2023 2:35:18 PM

Branch Panel: MDP

Location: EX. MECH 126 · Supply From: · Mounting: Surface · Enclosure: Type 1

Volts: 120/208 Wye · Phases: 3 · Wires: 4

A.I.C. Rating: · Mains Type: · Mains Rating: 400 A · MCB Rating: 400 A

Notes:

CKT	Circuit Description	Trip	Poles	A	A	B	B	C	C	Poles	Trip	Circuit Description	CKT
1	EX RTU	60 A	3	5500...	0 VA					3	250 A	EXISTING PANEL LH	2
3	–	–	–			5500...	0 VA			–	–	–	4
5	–	–	–					5500...	0 VA	–	–	–	6
7													8
9													10
11													12
13													14
15													16
17													18
19													20
21													22
23													24
25	RTU-1	50 A	3	5260...	5260...					3	50 A	RTU-3	26
27	–	–	–			5260...	5260...			–	–	–	28
29	–	–	–					5260...	5260...	–	–	–	30
31	RTU-2	50 A	3	5260...	1171...					3	125 A	RTU-4 (ALTERNATE TO REPLACE EXISTING)	32
33	–	–	–			5260...	1171...			–	–	–	34
35	–	–	–					5260...	1171...	–	–	–	36
37	PANEL NP2	225 A	3	360 VA	1167...					3	225 A	NP1	38
39	–	–	–			0 VA	1083...			–	–	–	40
41	–	–	–					0 VA	9597...	–	–	–	42
		Total Load:		45337 VA		43013 VA		42715 VA					
		Total Amps:		379 A		367 A		356 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
Lighting	6732 VA	100.00%	6732 VA		
Other	0 VA	0.00%	0 VA	Total Conn. Load:	101972 VA
Power	100020 VA	100.00%	100100 VA	Total Est. Demand:	124404 VA
				Total Conn. Current:	344 A
				Total Est. Demand Current:	346 A

Notes:

Branch Panel: NP1

Location: EX. MECH 126 · Supply From: MDP · Mounting: Surface · Enclosure: Type 1

Volts: 120/208 Wye · Phases: 3 · Wires: 4

A.I.C. Rating: · Mains Type: · Mains Rating: 225 A · MCB Rating: 225 A

Notes:

CKT	Circuit Description	Trip	Poles	A	A	B	B	C	C	Poles	Trip	Circuit Description	CKT
1	Receptacle	20 A	1	1440...	1200...					1	20 A	Receptacle	2
3	Receptacle	20 A	1			1440...	1260...			1	20 A	Receptacle	4
5	Receptacle	20 A	1					900 VA	1200...	1	20 A	Receptacle	6
7	Receptacle	20 A	1	1080...	1260...					1	20 A	Receptacle	8
9	Receptacle	20 A	1			1440...	1080...			1	20 A	Receptacle	10
11	Receptacle	20 A	1					1440...	720 VA	1	20 A	Receptacle	12
13					1500...					1	20 A	Treadmill	14
15	Treadmill	20 A	1			1500...	1500...			1	20 A	Treadmill	16
17	Treadmill	20 A	1					1500...	1500...	1	20 A	Treadmill	18
19	Lighting	20 A	1	484 VA	774 VA					1	20 A	Lighting	20
21	Lighting	20 A	1			878 VA	878 VA			1	20 A	Lighting	22
23	Lighting	20 A	1					210 VA	352 VA	1	20 A	Lighting	24
25	Lighting	20 A	1	323 VA	1440...					1	20 A	EH-1	26
27													28
29	Lighting	20 A	1					844 VA	540 VA	1	20 A	Exterior Receptacles	30
31					540 VA					1	20 A	Exterior Receptacles	32
33	Lighting	20 A	1			252 VA	903 VA			1	20 A	Lighting	34
35	Lighting	20 A	1					84 VA	180 VA	1	20 A	Receptacle	36
37	Receptacle	20 A	1	180 VA	720 VA					1	20 A	Receptacle	38
39													40
41													42
		Total Load:		11877 VA		10831 VA		9597 VA					
		Total Amps:		101 A		92 A		80 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
Lighting	6732 VA	100.00%	6732 VA		
Other	0 VA	0.00%	0 VA	Total Conn. Load:	32303 VA
Power	1500 VA	100.00%	1500 VA	Total Est. Demand:	32303 VA
				Total Conn. Current:	90 A
				Total Est. Demand Current:	90 A

Notes:

Branch Panel: NP2

Location: EX. MECH 126 · Supply From: MDP · Mounting: Surface · Enclosure: Type 1

Volts: 120/208 Wye · Phases: 3 · Wires: 4

A.I.C. Rating: · Mains Type: · Mains Rating: 225 A · MCB Rating: 225 A

Notes:

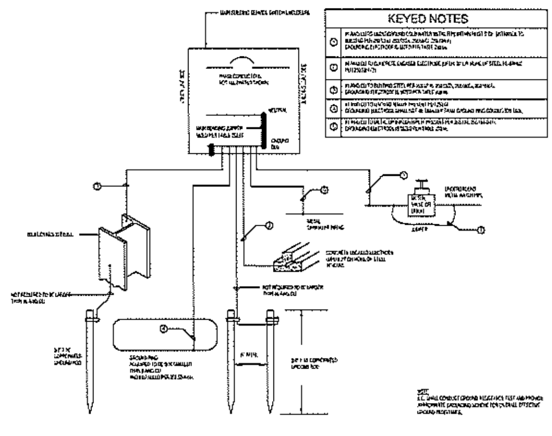
CKT	Circuit Description	Trip	Poles	A	A	B	B	C	C	Poles	Trip	Circuit Description	CKT
1													2
3													4
5													6
7													8
9													10
11													12
13													14
15													16
17													18
19													20
21													22
23													24
25	Receptacle	20 A	1	360 VA									26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42
		Total Load:		360 VA		0 VA		0 VA					
		Total Amps:		3 A		0 A		0 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
				Total Conn. Load:	360 VA
				Total Est. Demand:	360 VA
				Total Conn. Current:	1 A
				Total Est. Demand Current:	1 A

Notes:

NOTE: [illegible]



BUILDING ELECTRICAL SERVICE GROUNDING AND BONDING DETAIL

NO SCALE

FEEDER SIZING CHART

(REFER TO FEEDER LEGEND FOR APPLICATION OF THIS CHART)

AMPERAGE	NUMBER PARALLEL SETS	PHASE CONDUCTORS	NEUTRAL CONDUCTOR(S): STANDARD	NEUTRAL CONDUCTOR(S): OVERSIZED	GROUND CONDUCTOR(S): EQUIPMENT	GROUND CONDUCTOR(S): ISOLATED	RACEWAY SIZE
[illegible]	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
100	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
110	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	2"
125	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	2"
150	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	2"
175	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
200	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
225	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	3"
250	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	3"
300	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	3"
350	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	4"
400	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	4"
450	2	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	3"
500	2	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	4"
600	2	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	4"
700	2	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	4"
800	2	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	4"
1000	3	[illegible]	[illegible]	NA	[illegible]	NA	4"
1200	4	[illegible]	[illegible]	NA	[illegible]	NA	4"
1600	5	[illegible]	[illegible]	NA	[illegible]	NA	4"
2000	6	[illegible]	[illegible]	NA	[illegible]	NA	4"
2500	7	[illegible]	[illegible]	NA	[illegible]	NA	4"
3000	8	[illegible]	[illegible]	NA	[illegible]	NA	4"

FEEDER LEGEND

NOTE: [illegible]

INDICATES AMPERAGE OF FEEDER UTILIZING THHN/THWN CONDUCTORS. SEE FEEDER SIZING CHART FOR SIZING OF PHASE CONDUCTORS AND RACEWAY.

INDICATES QUANTITY OF NEUTRAL CONDUCTORS PER PARALLEL SET:
- -N = NO NEUTRALS
- 1N = ONE STANDARD NEUTRAL
- 2N = ONE ROUTED NEUTRAL

INDICATES QUANTITY OF GROUND CONDUCTORS PER PARALLEL SET:
- -G = NO GROUNDING CONDUCTORS
- 1G = ONE EQUIPMENT GROUNDING CONDUCTOR
- 2G = ONE EQUIPMENT GROUNDING CONDUCTOR AND ONE ISOLATED GROUND CONDUCTOR

EXAMPLE:

250A 1N 1G = (3) #250 KCMIL, (1) #250 KCMIL NEUTRAL, (1) #4 EQUIPMENT GROUND, (1) 3" RACEWAY

VOLTAGE DROP SCHEDULE

120 VOLT BRANCH CIRCUITS UP TO 9 AMPS

RUN DISTANCE IN FEET	WIRE SIZE AWG
1' - 120'	#12
121' - 210'	#10
211' - 320'	#8
321' - 500'	#6

120 VOLT BRANCH CIRCUITS 9 AMPS TO 16 AMPS

RUN DISTANCE IN FEET	WIRE SIZE AWG
1' - 70'	#12
71' - 120'	#10
121' - 180'	#8
181' - 290'	#6

208 VOLT BRANCH CIRCUITS UP TO 16 AMPS

RUN DISTANCE IN FEET	WIRE SIZE AWG
1' - 125'	#12
126' - 200'	#10
201' - 320'	#8
321' - 500'	#6

277 VOLT BRANCH CIRCUITS UP TO 16 AMPS

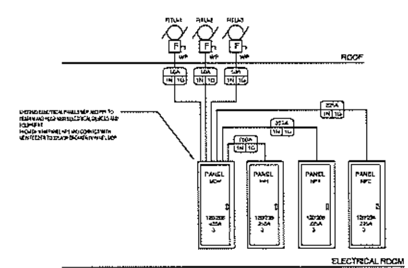
RUN DISTANCE IN FEET	WIRE SIZE AWG
1' - 170'	#12
171' - 260'	#10
261' - 420'	#8
421' - 670'	#6

[illegible]

MINIMUM WIRE & CONDUIT SIZES FOR CIRCUIT BREAKERS AND FUSES

AMPS	CONDUCTOR	GROUND	CONDUIT
15	#12	#12	3/4"
20	#12	#12	3/4"
25	#10	#10	3/4"
30	#10	#10	3/4"
35	#8	#10	1"
40	#8	#10	1"
45	#6	#10	1"
50	#6	#10	1"
60	#6	#10	1-1/4"
70	#4	#8	1-1/4"
80	#4	#8	1-1/4"
90	#3	#8	1-1/2"
100	#3	#8	1-1/2"

PROVIDE THE FOLLOWING QUANTITIES: 1 POLE CIRCUIT - 1 HOT, 1 NEUTRAL, 1 GROUND; 2 POLE CIRCUIT - 2 HOT, 1 GROUND; 3 POLE CIRCUIT - 3 HOT, 1 GROUND; 1 POLE IG CIRCUIT - 1 HOT, 1 NEUTRAL, 1 GROUND, 1 ISOLATED GROUND



ELECTRICAL POWER RISER DIAGRAM

SCALE: NO SCALE

JAGER
4 Grand View Drive Enfield, CT 06082

This document contains confidential information, is an instrument of service and the property of the Architect, & shall not be used on other projects or for the extension of this project.

All products, fixtures, and equipment shall be installed in accordance with manufacturers' instructions.

All dimensions, materials, and specifications are to be verified by the Contractor prior to the commencement of work.

The Contractor shall be responsible for construction means, methods, techniques, sequences, and safety.

acorn Consulting Engineers Inc.

PROJECT NAME: ADDITION/REMODEL COMMUNITY CENTER

PROJECT ADDRESS: 28 Abbe Road East Windsor, CT 06088

PROJ NO: 2021.33

ISSUE DATE: 10/11/2022

REVISION DATE:

DRAWING: ELECTRICAL POWER RISER AND SCHEDULES

E5

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